



Request for City Council Action

DEPARTMENT INFORMATION

ORIGINATING DEPARTMENT	REQUESTOR:	MEETING DATE:
Planning	City Planner Licht	9 March 2026
PRESENTER(S)	REVIEWED BY:	ITEM #:
City Planner Licht	City Administrator/Finance Director Flaherty City Engineer Wagner	4.1 – Meadow Haven

STRATEGIC VISION

MEETS:	THE CITY OF OTSEGO:
X	Is a strong organization that is committed to leading the community through innovative communication.
X	Has proactively expanded infrastructure to responsibly provide core services.
	Is committed to delivery of quality emergency service responsive to community needs and expectations in a cost-effective manner.
X	Is a social community with diverse housing, service options, and employment opportunities.
	Is a distinctive, connected community known for its beauty and natural surroundings.

AGENDA ITEM DETAILS

RECOMMENDATION:	
City staff recommend the City Council approve a Zoning Map Amendment, Planned Unit Development - Conditional Use Permit, and preliminary plat.	
ARE YOU SEEKING APPROVAL OF A CONTRACT?	IS A PUBLIC HEARING REQUIRED?
No	Yes, was held by the Planning Commission 2 March 2026.
BACKGROUND/JUSTIFICATION:	
<p>Summergate Development has submitted application for subdivision of 80 single family lots within 36.88 acres located west of McAllister Avenue south of 70th Street (CSAH 38). The proposed development requires applications for a Zoning Map amendment, Planned Unit Development-Conditional Use Permit, and preliminary plat. There is also the need to consider vacation of existing public right-of-way for an abandoned section 67th Street.</p> <p>A public hearing to consider the zoning and subdivision applications and right-of-way vacation was held at the Planning Commission meeting on 2 March 2026. Mr. Bryan Tucker of Summergate Development was present and agreed with the recommendations of City staff. Three members of the public spoke during the public hearing regarding McAllister Avenue, stormwater management, grading, and trees. These questions were addressed by City staff. The public hearing was closed.</p> <p>The Planning Commission questioned construction of the trail along McAllister Avenue. City staff explained the rationale behind requiring the trail construction now versus escrowing funds for a future improvement. There were no other comments. The Planning Commission voted 7-0 to recommend approval of the applications.</p>	
SUPPORTING DOCUMENTS ATTACHED:	
<ul style="list-style-type: none"> • Planning Report dated 23 February 2026 • Draft Planning Commission minutes of March 2, 2026 • Ordinance 2026-03 amending the Zoning Map • Resolution 2026-22 adopting findings of fact and approving a Planned Unit Development - Conditional Use Permit and preliminary plat 	

POSSIBLE MOTION

PLEASE WORD MOTION AS YOU WOULD LIKE IT TO APPEAR IN THE MINUTES:

Motion to adopt Ordinance 2026-03 amending the Zoning Map; and adopt Resolution 2026-22 adopting findings of fact and approving a Planned Unit Development - Conditional Use Permit and preliminary plat of Meadow Haven, as presented.

BUDGET INFORMATION

FUNDING:	BUDGETED:
Fund 701 – Development Escrows	N/A



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Anoka, MN 55303
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TPC@PlanningCo.com

PLANNING REPORT

TO: Otsego Planning Commission

FROM: D. Daniel Licht

REPORT DATE: 23 February 2026

ACTION DATE: 16 March 2026

RE: Otsego – Meadow Haven; Preliminary Plat

TPC FILE: 101.02

BACKGROUND

Summergate Development has submitted application for subdivision of 80 single family lots within 36.88 acres located west of McAllister Avenue south of 70th Street (CSAH 38). The proposed development requires applications for a Zoning Map amendment, Planned Unit Development-Conditional Use Permit, and preliminary plat. There is also the need to consider vacation of existing public right-of-way for an abandoned section 67th Street. A public hearing to consider the zoning and subdivision applications and right-of-way vacation has been noticed for the Planning Commission meeting on 2 March 2026.

Exhibits:

- Site location map
- Urban Service Area Staging Plan map
- Future Land Use Plan map
- Transportation Plan map
- Future Parks and Trails Plan map
- Preliminary Plans dated 02/02/26 (24 sheets)

ANALYSIS

Zoning. The subject property is currently zoned A-1, Agriculture Rural Service District. The developer requesting a Zoning Map amendment to rezone the preliminary plat to R-5, Single and Two Family Residential District. The application also includes a request for a Planned Unit Development-Conditional Use Permit related to lot standards as outlined by the 2023 Comprehensive Plan. Consideration of the Zoning Map amendment and Planned Unit Development-Conditional Use Permit is to be based upon, but not limited to, the criteria established by Section 11-3-2.F and Section 11-4-2.F of the Zoning Ordinance, respectively:

1. The proposed action's consistency with the specific policies and provisions of the Otsego Comprehensive Plan.

Comment: The Future Land Use Plan of the 2023 Comprehensive Plan guides the subject property for low density residential uses, which is a single family neighborhood with a net density of 3.0 dwelling units per acre or less. The subject property is 36.88 acres in area with a net area less wetlands and wetland buffers of 30.88 acres. The net density of the proposed preliminary plat is 2.32 dwelling units per acre. The proposed preliminary plat provides for a range of single family lot widths to encourage diversity in single family housing within the subdivision and overall housing supply within the City. The proposed development is consistent with the policies of the 2023 Comprehensive Plan.

2. The proposed use's compatibility with present and future land uses of the area.

Comment: The subject property is a single parcel that was subdivided at one time from the exception parcel abutting McAllister Avenue, which is not included as part of the proposed plat. The subject property is surrounded by the existing and planned uses shown in the table below. The proposed preliminary plat will be consistent with the character of the area and compatible with existing and planned surrounding land uses.

Direction	Land Use Plan	Zoning Map	Existing Use
<i>North</i>	<i>LD Residential</i>	<i>A-1 District</i>	<i>Cultivated field</i>
<i>East</i>	<i>Industrial</i>	<i>A-1 District</i>	<i>Cultivated field</i>
<i>South</i>	<i>LD Residential</i>	<i>A-1 District</i>	<i>Rural single family</i>
<i>West</i>	<i>LD Residential</i>	<i>R-4 District</i>	<i>Otsego Preserve</i>

3. The proposed use's conformity with all performance standards contained within the Zoning Ordinance and other provisions of the City Code.

Comment: The proposed preliminary plat will comply with the provisions of the Zoning Ordinance, Subdivision Ordinance, and Engineering Manual.

4. Traffic generation of the proposed use in relation to capabilities of streets serving the property.

Comment: The subject property is to be accessed from 70th Street (CSAH 38) via McAllister Avenue, which is to be improved to an interim collector street standard as part of the development. Secondary access will occur at 66th Street to be extended from Otsego Preserve and future street connections to the abutting properties to the north and south. The streets accessing the proposed preliminary plat have adequate capacity to accommodate traffic generated by the development.

5. The proposed use can be accommodated by existing public services and facilities and will not overburden the City's service capacity.

Comment: The proposed preliminary plat is within the West Sewer District and the City has in-place utilities and services planned for as part of the 2023 Comprehensive Plan. The proposed development will not overburden the City's service capacity.

McAllister Avenue. The primary access to the proposed preliminary plat is to be from 70th Street (CSAH 38) via McAllister Avenue. McAllister Avenue is an existing gravel roadway with ditches on either side within a prescriptive 66 foot wide easement. The Transportation Plan designates McAllister Avenue as a Commercial-Industrial Major Collector street. Major Collector streets serve to gather traffic from adjacent neighborhoods and carry it to other Major Collector or Arterial streets such as 70th Street (CSAH 38).

The developer will be required to improve McAllister Avenue including pavement from the south line of the preliminary plat to 70th Street (CSAH 38). This will include dedication of 40 feet of right-of-way for the west half of McAllister Avenue abutting the subject property. The developer will pave the travel lanes for the street as well as curb, boulevard west side of the improved street.

City owned property for Watertower #4 and the planned Southcentral Water Treatment Plant abut the north one-quarter mile of the east side of McAllister Avenue. The City will provide the developer credits for utility fees for proportional improvement of the east side of McAllister Avenue to include the paved shoulder, curb and gutter, and a right turn lane at 70th Street (CSAH 38).

The section of the east side of McAllister Avenue south of 67th Street will remain with a gravel shoulder and ditch until the abutting property to the east is subdivided. Some traffic from the development may elect to use the gravel roadway, which the City will need to monitor for maintenance purposes.

67th Street. Before development of the Zimmer Farms and Remington Coves plats, 67th Street extended between MacIver Avenue and McAllister Avenue along a quarter section line that forms the north line of the subject property. The roadway across the north line of the subject property and abutting property to the north was removed with the platting of Remington Coves but the right-of-way was not vacated. It is expected that 67th Street will be continued from its current terminus at the east line of Remington Coves through the abutting property to the north with development of that parcel. The existing right-of-way within the subject site for 67th Street no longer serves a public purpose based on the Remington Cove plat and proposed preliminary plat. Vacation of the right-of-way within the subject site is appropriate.

East of McAllister Avenue, 67th Street continues along the quarter section line before turning north to intersect 70th Street (CSAH 38) as Nadala Avenue. This segment of street abuts City owned property and provides access to one single family dwelling. City staff expects that when the properties to the south of 67th Street and east of Nadala Avenue, 67th Street and Nadala Avenue may be vacated in whole or in part in favor of a more efficient street layout that provides internal access to more properties to be developed with industrial uses.

The likely future vacation of 67th Street east of McAllister Avenue is noted with regards to the spacing of intersections onto McAllister Avenue. The preliminary plat proposes extension of 66th Street from Otsego Preserve to intersect McAllister Avenue 247 feet south of the quarter section line (or centerline of 67th Street). This is approximately one-half of the intersection spacing required by Section 10-8-5.B.4.c of the Subdivision Ordinance. With the low volume of traffic using 67th Street east of McAllister Avenue and likelihood for the street to be vacated and relocated in the future, the present off-set of the 66th Street and 67th Street intersections to McAllister Avenue will not cause issue.

Local Streets. The layout for local streets internal to the proposed preliminary plat are logically related to the topography and surrounding physical barriers so as to result in usable lots, reasonable grades, and to discourage through traffic. There are no cul-de-sac streets within the proposed preliminary plat. All of the local streets will be public and designed with 60 foot rights-of-way as required by Section 10-8-5.B.1 of the Subdivision Ordinance

A connection is to be made to the existing temporary cul-de-sac at 66th Street within Otsego Preserve abutting the subject property. The developer is required to remove the temporary cul-de-sac and restore the yards and driveways within the right-of-way and temporary cul-de-sac easement.

Section 8-8-4 of the City Code specifies installation of street lighting for new subdivisions at the corners of intersecting streets, midblock locations for blocks longer than 900 feet, and the terminus ends of cul-de-sac streets. The number and location of proposed street lights and street signs is to be subject to review and approval of the City Engineer.

All street design and construction plans, lighting, and signs are subject to review and approval of the City Engineer.

Street names are to be assigned in accordance with the Wright County grid system and Section 10-8-5.B.13 of the Subdivision Ordinance, subject to review and approval of City staff.

Pedestrians. Section 10-8-5.D of the Subdivision Ordinance establishes requirements for sidewalks and trails within proposed subdivisions.

A five foot wide sidewalk is to be provided on one side of all local streets (not including cul-de-sacs). The submitted plans illustrate extension of the existing sidewalk on the north side of 66th Street within Otsego Preserve being extended along the north side of Street 1 within the preliminary plat. A five foot concrete sidewalk is also included on one side of all other streets.

The planned section for McAllister Avenue above is to include a trail on the west side of the roadway that will eventually extend between 60th Street (CR 137) and 70th Street (CSAH 38) creating a connection as part of the overall trail system. The prescriptive easement north and south of the subject property and in front of the exception parcel is not sufficient to locate the permanent trail.

City staff, including the Parks and Recreation Department, are recommending that the trail be constructed adjacent to the subject property and the exception parcel with the final plat. The boulevard at the exception parcel may need to be temporarily reduced in width until that property is also subdivided an additional right-of-way acquired. The trail segments to the north and south of the subject property would be constructed with those properties develop or the City obtains necessary right-of-way through other means.

All plans for sidewalks and trails are subject to review and approval of the City Engineer.

Blocks. Section 10-8-3.A of the Subdivision Ordinance establishes that blocks within a subdivision are to be a minimum of 300 feet and not more than 1,200 feet in length. Block 1 is the only block within the proposed preliminary plat that does not comply with this requirement. The preliminary plat must be revised to extend either or both of Streets 2 and 3 through Block 1 to provide for future connection to the abutting property to the north to comply with maximum block length standard. Street connection(s) to the abutting property to the north will also allow for distribution of traffic and circulation between neighborhoods for residents, service vehicles, and emergency access as required by Section 10-8-5.A.7 of the Subdivision Ordinance.

Lot Requirements. Section 11-66-6.A of the Zoning Ordinance requires single family lots within the R-5 District to be a minimum of 9,000 square feet in area and 60 feet (90 feet for corner lots) in width.

The 2023 Comprehensive Plan encourages development of a range of lot area and widths within a single subdivision to provide for diversity in single family housing options. The preliminary plat includes 74 lots that are a minimum of 65 feet in width and six lots that area minimum of 75 feet in width. The smallest lot is 8,810 square feet in area.

Consistent with the recommendations of the 2023 Comprehensive Plan, the 9,625 square foot mean lot area and 10,302 square foot median lot area for the single family lots within the preliminary plat exceed the minimum area requirement of the R-5 District. Corner lots are also increased in width to allow for the same building envelope in consideration of the increased setback requirement for the side yard abutting the public right-of-way.

Setbacks. The table below specifies the principal building setback requirements of the R-5 District as provided for in Section 11-66-6.C of the Zoning Ordinance and the wetland setback established by Section 11-16-5.F.4.b of the Zoning Ordinance. The setbacks shown on the preliminary plat comply with the minimum requirements of the Zoning Ordinance.

Local ROW	Interior Side	Interior Rear	McAllister Avenue	Wetland Buffer
25ft. house 30ft. garage	7ft.	20ft.	65ft.	20ft.

Landscaping. Section 11-19-2.B.2 of the Zoning Ordinance requires that two shade trees be provided for each lot, one of which must be in the front yard, at the time of house construction. The trees required in the front yard required to be planted be outside of the public right-of-way.

Section 11-19-3.B requires that lots abutting collector and arterial streets provide a landscape buffer yard. The side yards of Lot 18, Block 1 and Lot 1, Block 4 abut McAllister Avenue and are subject to the buffer yard requirements. The submitted landscape plan includes the buffer yard plantings with the required size and number of plants and appropriate plant types.

Grading. The developer has submitted plans for grading, drainage, and erosion control plans for development of the preliminary plat. The developer has also submitted a wetland delineation and wetland impact plan for the proposed preliminary plat. Wetlands to be preserved are required by Section 11-16-5.F of the Zoning Ordinance to be protected by a 20 foot buffer with the wetland and wetland buffer platted within an outlot deeded to the City.

All grading, drainage, wetland impacts, and erosion control issues are subject to review and approval of the City Engineer.

The developer will be required to pay a Stormwater Impact Fee for Otsego Creek at the time of final plat approval.

Utilities. The subject property is within the West Sewer District with sewer and water utilities available at the west plat line. The developer has submitted plans for extension of sewer and water utilities for the preliminary plat to serve the proposed lots within the preliminary plat.

The City is in the process of expanding the water utility system to include drinking water treatment. This improvement involves future construction of a Water Treatment Plant to be located at the southeast corner of 70th Street (CSAH 38) and McAllister Avenue, adjacent to Watertower #4. The Water System Master Plan requires acquisition of land for a future well at the southwest corner of the subject property. A raw water pipe will be extended from this well to the Water Treatment Plant to the northeast. The needs of the City's water system will require the preliminary plat to be revised to provide a lot to be deeded to the City for the future well and incorporation of the raw water line within the utility plan. The developer will be compensated for the land acquisition and trunk raw water main through utility fee credits.

All utility plans are subject to review and approval of the City Engineer. The parcel to be acquired by the City for the future drinking water well will also be subject to review and approval of the City Engineer.

Payment of utility availability charges are due at the time of final plat approval and payment of utility connection charges are due at the time a building permit is issued for each lot in accordance with Title 6, Section 1 of the City Code.

Easements. Section 10-18-12.A of the Subdivision Ordinance requires 10 foot drainage and utility easements at the perimeter of all lots (overlying side lot lines), as well as over any stormwater management facilities, wetlands, and wetland buffers not platted within outlots deeded to the City. The preliminary plat provides for dedication of required easements, which are to be subject to review and approval of the City Engineer.

Outlots. The preliminary plat includes five outlots as shown below. Outlots A, B, C, and D are to be deeded to the City for stormwater management purposes in accordance with Section 10-8-12.D of the Subdivision Ordinance.

Outlot	Purpose	Ownership
A, B, C, D	Wetlands, wetland buffer storm basin	Deed to City
E	Future development	Developer

The preliminary plat includes a sketch plan for future development of Outlot E. It is recommended that the outlot be platted as two separate outlots for the potential future lots with dedication of right-of-way for the street illustrated on the sketch plan. Because of the access limitations and spacing requirements onto McAllister Avenue as collector street, having the right-of-way dedicated for this potential future street will allow greater flexibility for development of parcels to the south of the subject property.

Park Dedication. Section 10-8-15.A of the Subdivision Ordinance requires subdividers to dedicate a reasonable portion of the buildable land within a proposed preliminary plat for public use as parks or open space. The City may also choose to accept an equivalent amount in cash for part or all of the land required to be dedicated.

The subject property is within the service area for Zimmer Farm Park and Billette Field to the west on the boundary of the Otsego Preserve and Zimmer Farm neighborhoods. The Future Parks and Trails Map does not identify acquisition of land from the subject property for park facilities

Park dedication requirements for the proposed subdivision are to be satisfied as a cash fee in lieu of land at the time of final plat approval.

Exception Parcel. The exception parcel abutting McAllister Avenue (PID 118-500-311301) is not included in the preliminary plat as noted above. The submitted plans do provide for a street stub east of Street 3 to the west line of the exception parcel to allow for future subdivision with extension of streets and utilities.

The sketch plan illustrates that the street would be extended through the exception parcel to intersect McAllister Avenue. With the area to the east of McAllister Avenue planned for future industrial land uses, there is an interest in limiting access points to the collector street and also providing area for landscape buffering.

As such, City staff recommend that the sketch plan for the exception parcel be revised to terminate as a cul-de-sac and not intersect McAllister Avenue.

RECOMMENDATION

The proposed Meadow Haven preliminary plat is consistent with the goals and policies of the 2023 Comprehensive Plan and complies with the requirements of the Zoning Ordinance and Subdivision Ordinance. City staff recommends approval of applications as outlined below.

POSSIBLE ACTIONS

Motion to recommend **approval** of a Zoning Map amendment rezoning the subject property to R-5 District; a Planned Unit Development-Conditional Use Permit; and preliminary plat of Meadow Haven, subject to the following conditions:

1. Approval of the preliminary plat shall not guarantee access to sanitary sewer service. The City shall only allocate sanitary sewer capacity to approved final plats with signed development contracts to assure the City of timely development.

2. All right-of-way dedication, street design and construction plans, street lighting, sidewalks, trails, and street names shall be subject to review and approval of the City Engineer.
3. McAllister Avenue:
 - a. The developer shall dedicate 40 feet of right-of-way for the west half of McAllister Avenue abutting the preliminary plat.
 - b. The developer shall at their cost improve McAllister Avenue from the south line of the preliminary plat to 70th Street (CSAH 38) to a minor collector section as determined by the City Engineer.
 - c. The developer shall receive utility fee credits as determined by the City for the portion of the east half of McAllister Avenue abutting the City owned Watertower #4 and South Central Water Treatment Plant property.
 - d. The improvement of McAllister Avenue abutting the subject property and PID 118-500-311301 shall include a 10-foot bituminous trail.
4. The City Council shall consider a resolution approving vacation of 67th Street along the north line of the preliminary plat at the time of final plat application.
5. All lots within the preliminary plat shall comply with the following setbacks:

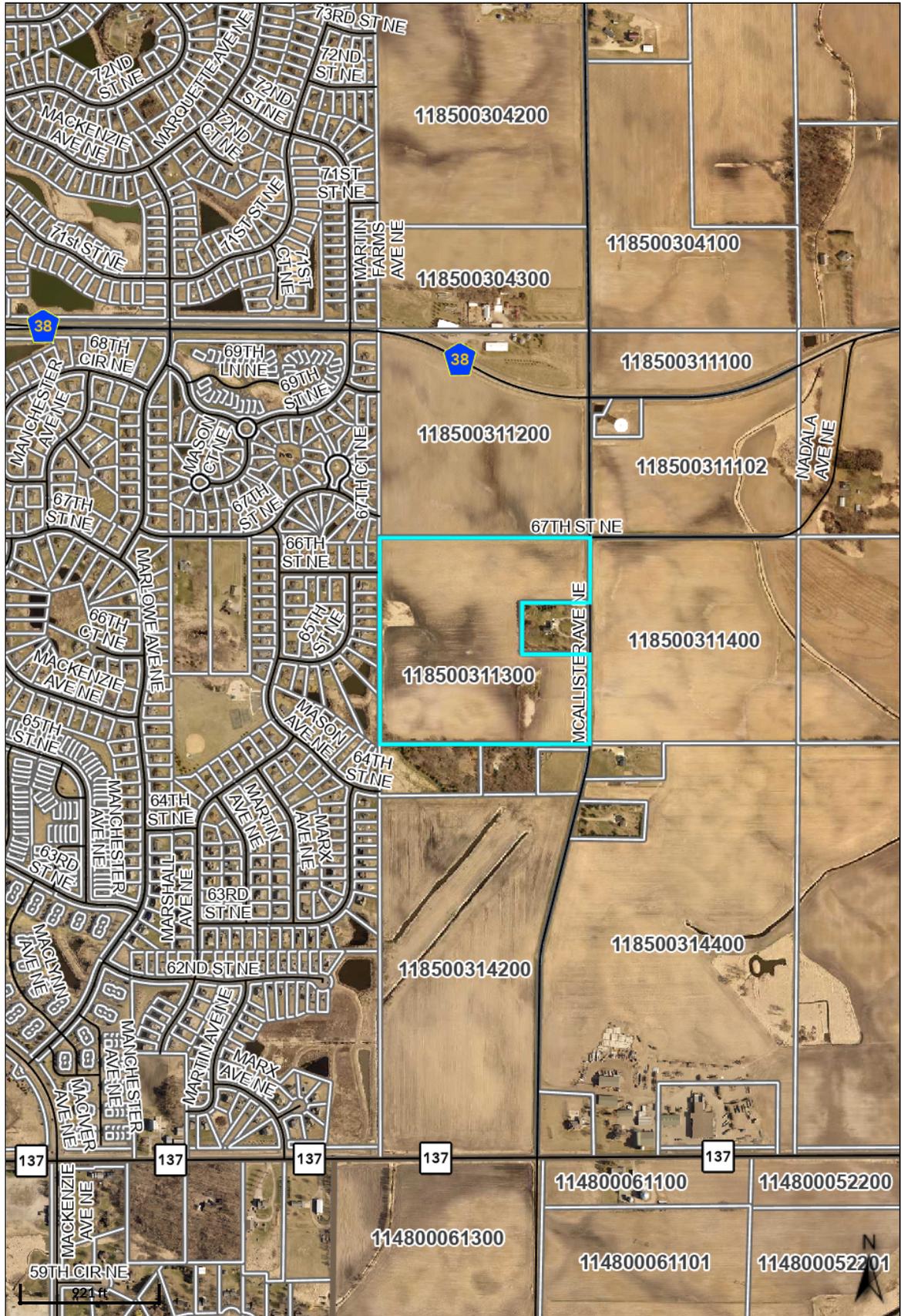
Local ROW	Interior Side	Interior Rear	McAllister Avenue	Wetland Buffer
25ft. house 30ft. garage	7ft.	20ft.	65ft.	20ft.

6. The preliminary plat shall be revised to extend either or both of Street 2 and Street 3 through Block 1 to provide for future street connection(s) to the abutting property to the north.
7. All grading, drainage, wetland impacts, and erosion control issues shall be subject to review and approval of the City Engineer.
8. The developer shall pay a Stormwater Impact Fee for Otsego Creek at the time of final plat approval.

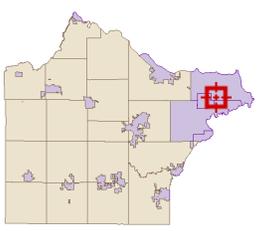
9. Trunk Water System:
 - a. The preliminary plat shall be revised to provide for acquisition of land by the City for a future water utility well.
 - b. The utility plan for the preliminary plat shall incorporate a raw water main extension to between the future water utility well and McAllister Avenue.
 - c. The developer will receive financial credit for the value of the property acquired and cost of construction related to the well and raw water main.
 10. All utility plans shall be subject to review and approval of the City Engineer.
 11. All drainage and utility easements shall be subject to review and approval of the City Engineer.
 12. Outlot A, B, C, and D shall be deeded to the City for stormwater management purposes.
 13. Outlot E shall be revised as two outlots encompassing potential future lots with dedication of right-of-way as illustrated on the sketch plan with the current plat.
 14. Park dedication requirements shall be satisfied as payment of a cash fee in lieu of land dedication at the time of final plat approval.
 15. The sketch plan for PID 118-500-311301 shall be revised to terminate as a cul-de-sac and not intersect McAllister Avenue.
- c. Adam Flaherty, City Administrator/Finance Director
Audra Etzel, City Clerk
Ron Wagner, City Engineer
David Kendall, City Attorney

Site Location

Meadow Haven Preliminary Plat

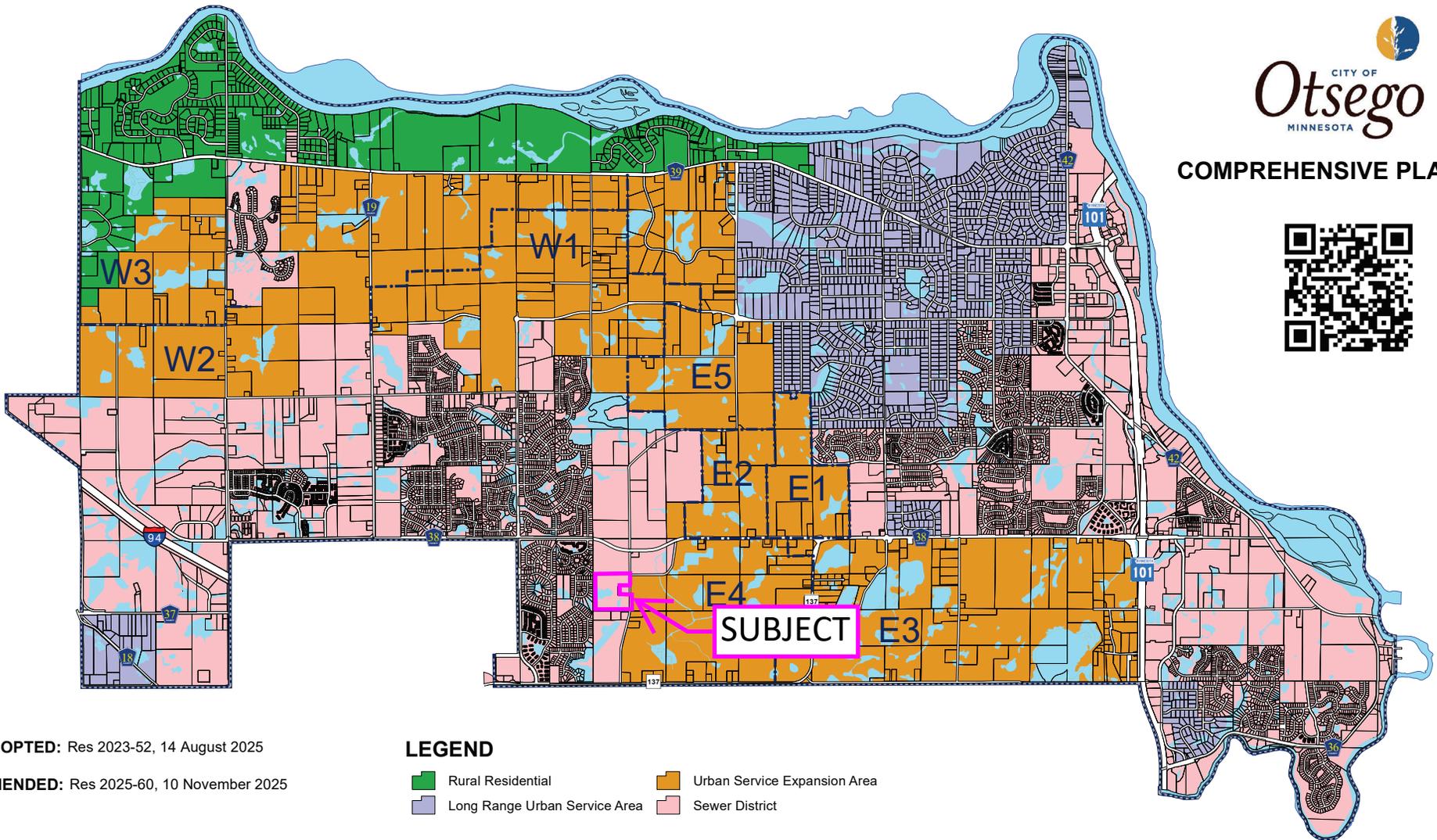


Overview



Legend

- Highways**
 - Interstate
 - State Highway
 - US Highway
 - Roads
- City/Township Limits**
 - c
 - t
- Parcels**
 - Parcels
 - Torrens

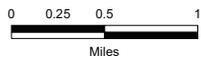


ADOPTED: Res 2023-52, 14 August 2025

AMENDED: Res 2025-60, 10 November 2025

LEGEND

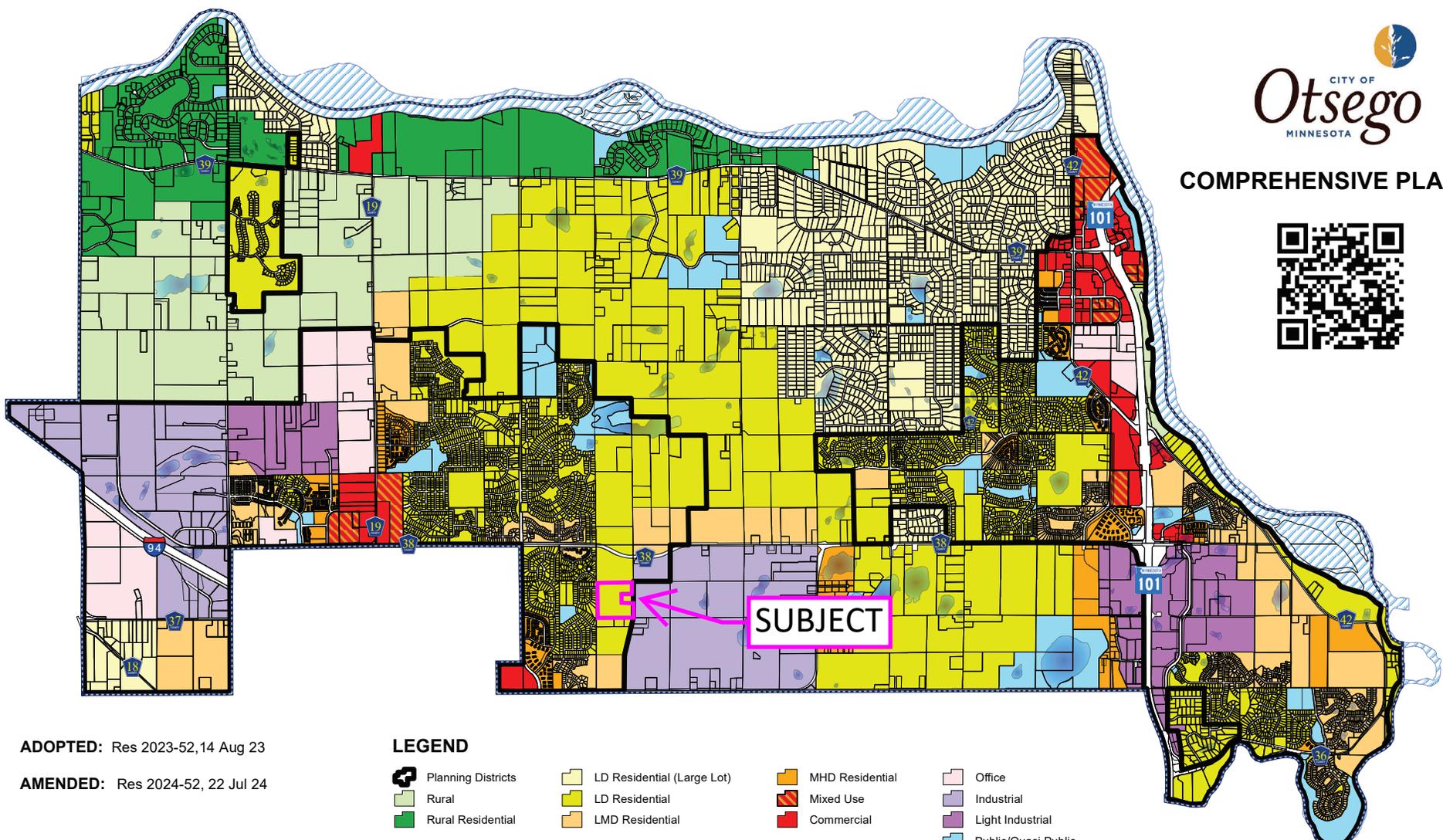
- Rural Residential
- Urban Service Expansion Area
- Long Range Urban Service Area
- Sewer District



**URBAN SERVICE
STAGING PLAN**

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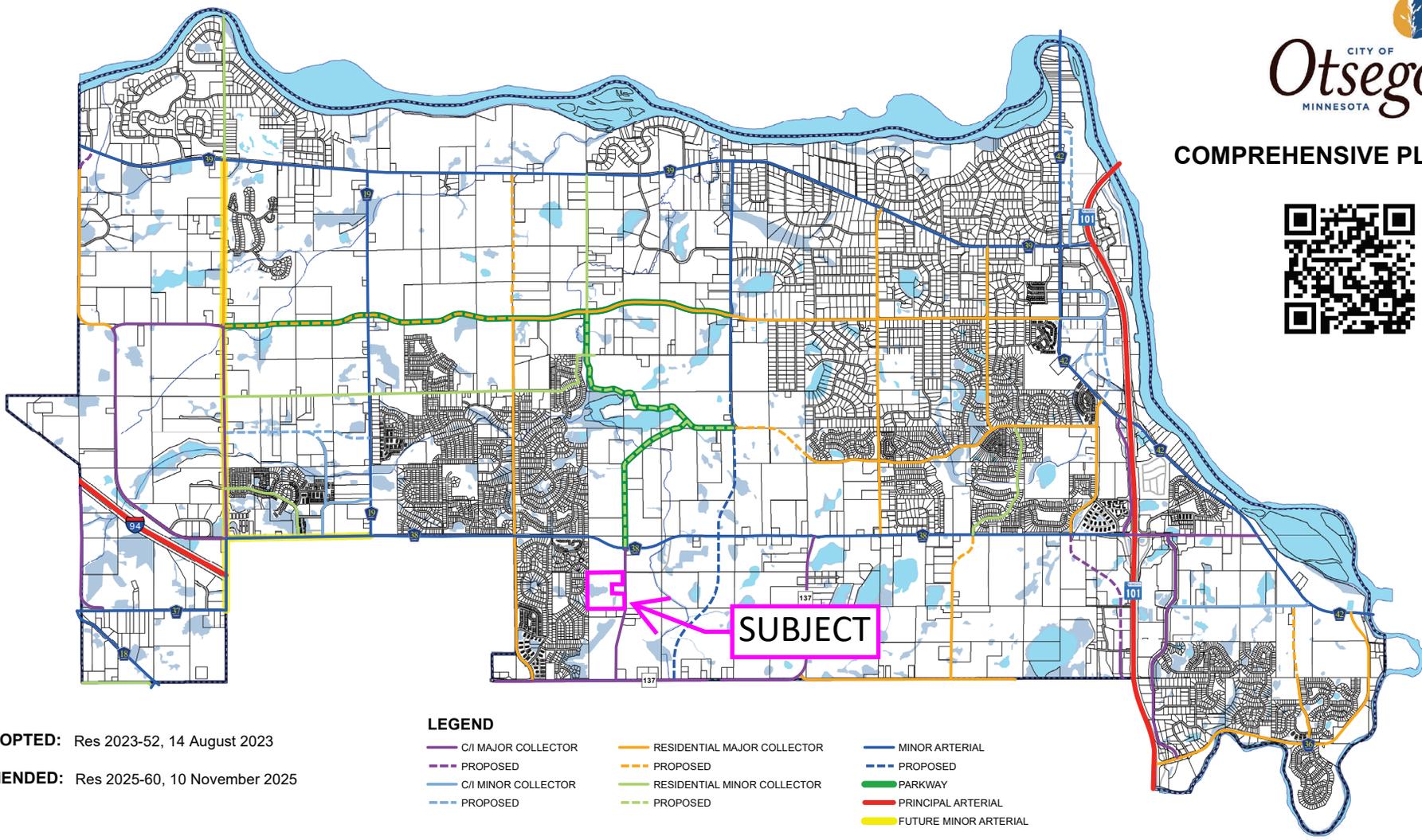
ADOPTED: Res 2023-52, 14 Aug 23

AMENDED: Res 2024-52, 22 Jul 24

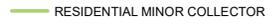
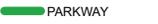
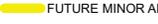
LEGEND

- | | | | |
|--------------------|----------------------------|-----------------|---------------------|
| Planning Districts | LD Residential (Large Lot) | MHD Residential | Office |
| Rural | LD Residential | Mixed Use | Industrial |
| Rural Residential | LMD Residential | Commercial | Light Industrial |
| | | | Public/Quasi Public |



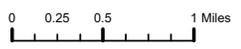


LEGEND

- | | | |
|---|--|---|
|  C/I MAJOR COLLECTOR |  RESIDENTIAL MAJOR COLLECTOR |  MINOR ARTERIAL |
|  PROPOSED |  PROPOSED |  PROPOSED |
|  C/I MINOR COLLECTOR |  RESIDENTIAL MINOR COLLECTOR |  PARKWAY |
|  PROPOSED |  PROPOSED |  PRINCIPAL ARTERIAL |
| | |  FUTURE MINOR ARTERIAL |

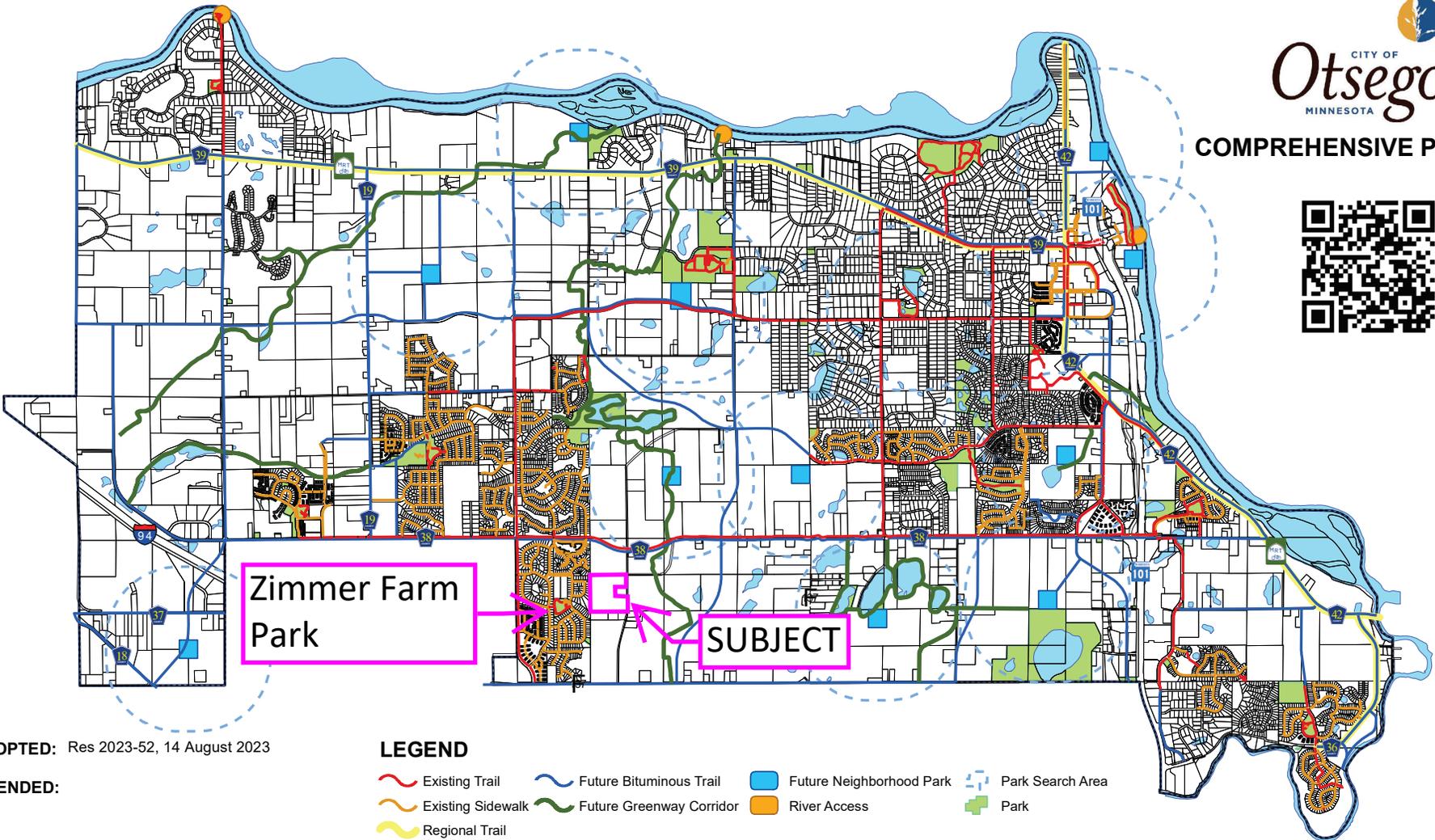
ADOPTED: Res 2023-52, 14 August 2023

AMENDED: Res 2025-60, 10 November 2025



TRANSPORTATION PLAN

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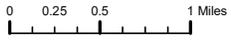


ADOPTED: Res 2023-52, 14 August 2023

AMENDED:

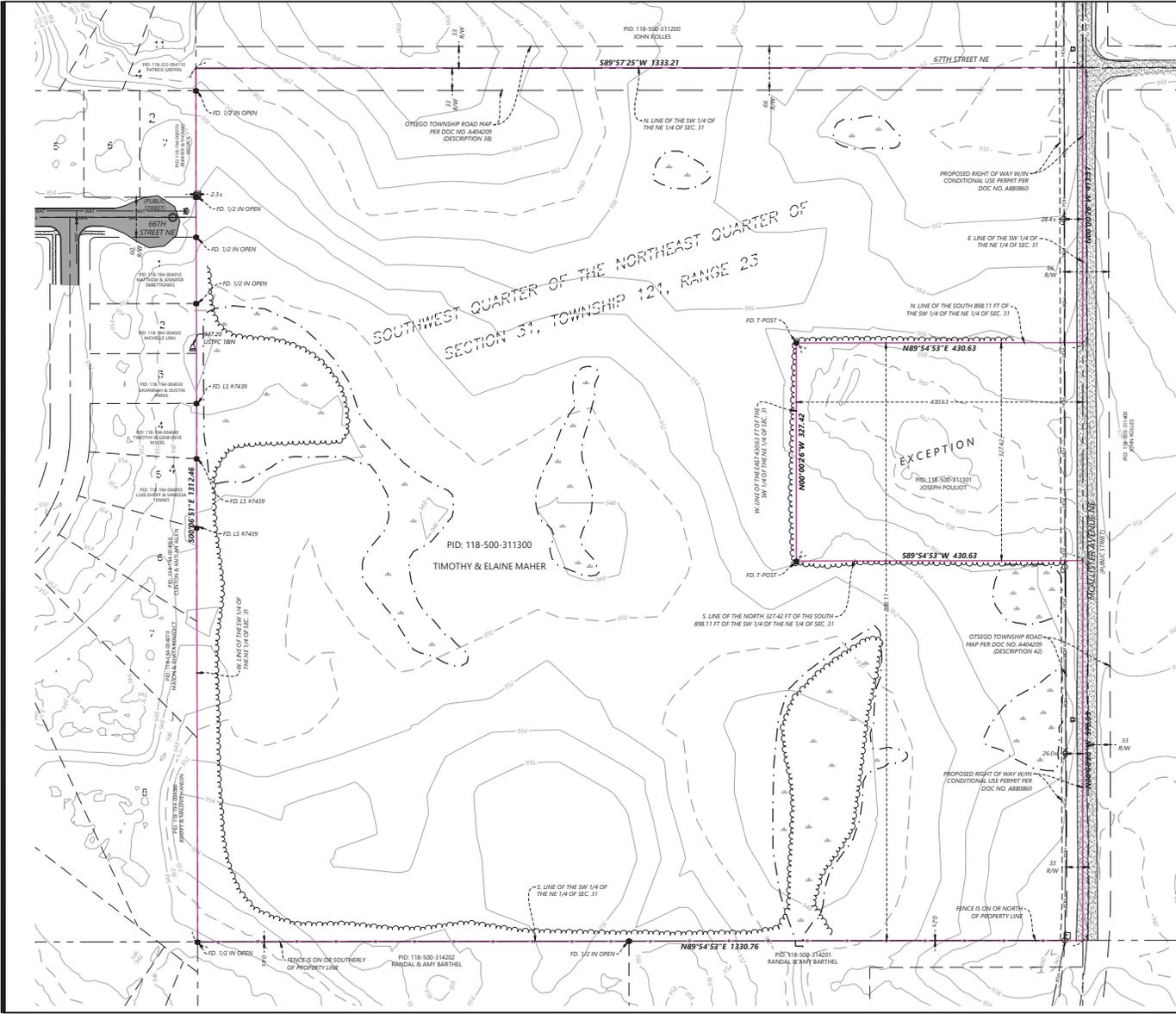
LEGEND

- Existing Trail
- Future Bituminous Trail
- Future Neighborhood Park
- Park Search Area
- Existing Sidewalk
- Future Greenway Corridor
- River Access
- Park
- Regional Trail



**FUTURE PARK
AND TRAIL SYSTEM**

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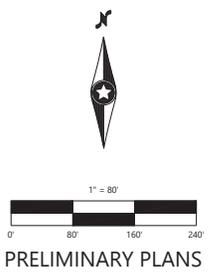


LEGEND

	SANITARY MANHOLE
	CATCH BASIN
	FLARED END SECTION
	FLARED END SECTION
	HYDRANT
	GATE VALVE
	GUY WIRE
	POWER POLE
	TELEPHONE BOX
	STEEL/WOOD POST
	SIGN
	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	SECTION LINE
	TREE LINE
	POWER OVERHEAD
	SANITARY SEWER
	STORM SEWER
	WATERMAIN
	FENCE LINE
	BITUMINOUS SURFACE
	GRAVEL SURFACE
	WETLAND
	FOUND MONUMENT

PROPERTY DESCRIPTION
 The following information was provided in Land Title, Inc., Issuing Agent for Old Republic National Title Insurance Company, File Number 695336, which has an effective date of April 26, 2024 at 7:00 AM.
 The Southwest Quarter of the Northeast Quarter of Section 31, Township 121, Range 23, EXCEPT the North 327.42 feet of the South 898.11 feet of the East 430.63 feet of the Southwest Quarter of the Northeast Quarter of Section 31, Township 121, Range 23, Wright County, Minnesota.
 Abstract Property.

- GENERAL NOTES**
- Bearings of property lines shown hereon are based on the Wright County coordinate system, (NAD 83 - 2011 Control Adjustment).
 - Lengths of lines and distances between features are measured in US-Survey Feet.
 - Elevations and ground contours shown hereon are relative to the NAD83 vertical datum and are relative to Benchmark MNDT 868/B which has an elevation of 945.22'.



DESIGNED:	TDD
CHECKED:	CHF
DRAWN:	DHW
HORIZONTAL SCALE:	80.00000:1
VERTICAL SCALE:	16.000:1

INITIAL ISSUE:	02/02/26
REVISIONS:	

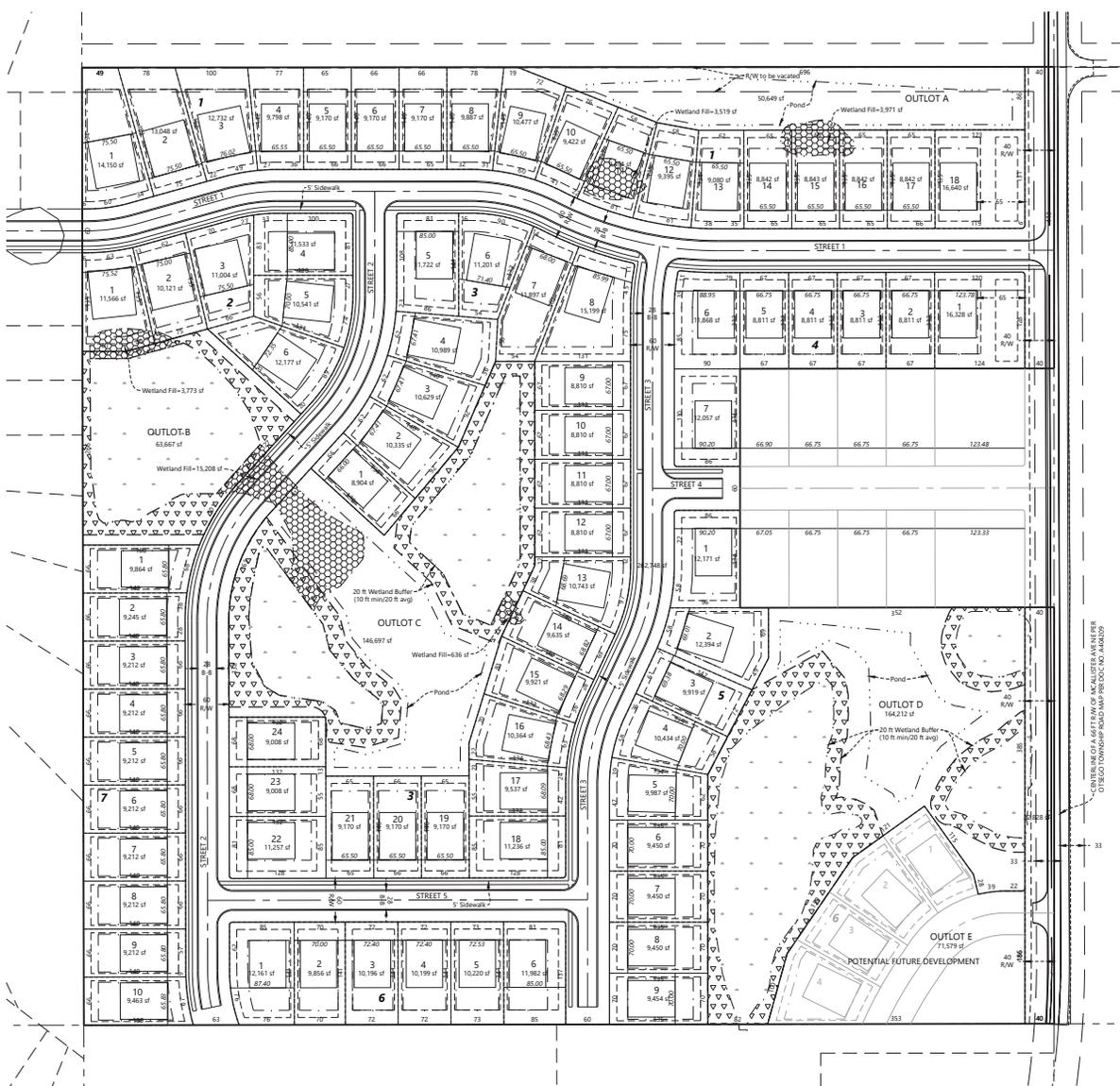
PREPARED FOR:
SUMMERGATE COMPANIES LLC
 17305 CEDAR AVENUE, SUITE 200
 LAKEVILLE, MN 55044

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
ERNEST M. WIRTZ JR.
 DATE: 02/02/26, LICENSE NO.: 63119

MEADOW HAVEN
 OTSEGO, MN

Westwood
 Phone (952) 937-5160 12703 Whitewater Drive, Suite F300
 Fax Free (888) 937-5150 Minneapolis, MN 55433
 westwood@ps.com
 Westwood Professional Services, Inc.

SHEET NUMBER: **02** OF **24**
EXISTING CONDITIONS
 PROJECT NUMBER: 00525400.0 DATE: 02/02/26



SITE DEVELOPMENT DATA

EXISTING ZONING:	A-2; AGRICULTURAL-LONG RANGE URBAN SERVICE AREA
PROPOSED ZONING:	R-5; CUP
GROSS SITE AREA:	36.88 AC
EXISTING WETLANDS TO REMAIN:	3.68 AC
WETLAND BUFFERS:	2.33 AC
NET SITE AREA:	30.88 AC
DEVELOPMENT SUMMARY	
65' SF HOMES	74 LOTS
75' SF HOMES (B1L1-3; B2L1-3)	6 LOTS
TOTAL SINGLE FAMILY HOMES	80 LOTS
PROJECT DENSITY:	
GROSS:	±2.17 UN/AC
NET:	±2.59 UN/AC

LOT STANDARDS: SINGLE FAMILY

STANDARD	SINGLE FAMILY (65' & 75' LOTS)
MINIMUM LOT AREA	8,810 SF
MEAN LOT AREA (all lots)	9,835 SF
MEDIAN LOT AREA (all lots)	10,302 SF
MINIMUM LOT WIDTH	65' @ FRT SBK 25' @ RET SBK
CORNER LOT WIDTH	83'
MINIMUM LOT DEPTH	130'
SETBACKS	
FRONT (GARAGE HOME)	30', 25'
SIDE INTERIOR LOT	7' / 7', 14' TOTAL
SIDE CORNER LOT	25'
REAR	20'
SKW TO MCALLISTER AVE NE	60'
WETLAND BUFFER	10' MIN / 20' AVG
BUFFER STRUCTURE SETBACK	20'

SITE LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	TIP-OUT CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	RETAINING WALL

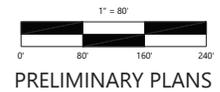
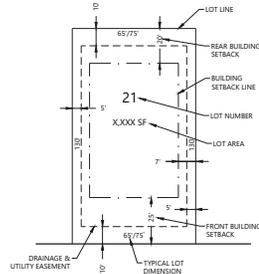
OUTLOT TABLE

OUTLOT	USE	OWNERSHIP	GROSS AREA
A	WETLAND / PONDING	CITY	1.16 AC
B	WETLAND	CITY	1.46 AC
C	WETLAND / PONDING	CITY	3.37 AC
D	WETLAND / PONDING	CITY	3.77 AC
E	FUTURE DEVELOPMENT	DEVELOPER	1.64 AC

DEVELOPMENT NOTES

- ALL LOT DIMENSIONS ARE ROUNDED TO THE NEAREST FOOT.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.
- DRAINAGE AND UTILITY EASEMENTS SHALL BE PROVIDED AS REQUIRED. DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED OVER ALL PUBLIC UTILITIES AND UP TO 1 FOOT ABOVE THE HIGH WATER LEVEL OF ALL PONDS.
- STREET WIDTHS ARE SHOWN FROM BACK OF CURB TO BACK OF CURB.

TYPICAL SINGLE FAMILY (SF) LOT DETAIL



DESIGNED:	TDD	INITIAL ISSUE:	02/02/26
CHECKED:	CHF	REVISIONS:	
DRAWN:	DHW		
HORIZONTAL SCALE:	80'		
VERTICAL SCALE:	16' OR 8'		

PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
CORY L MEYER
DATE: 02/02/26, LICENSE NO.: 26971

MEADOW HAVEN
OTSEGO, MN

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Phone: (952) 937-5150, (888) 937-5150
12702 Whitehaven Drive, Suite #300
Minnetonka, MN, 55343
westwood@ps.com
Westwood Professional Services, Inc.

SHEET NUMBER:
03 OF **24**
PRELIMINARY PLAT
PROJECT NUMBER: 0052504.00 DATE: 02/02/26

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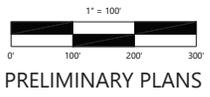
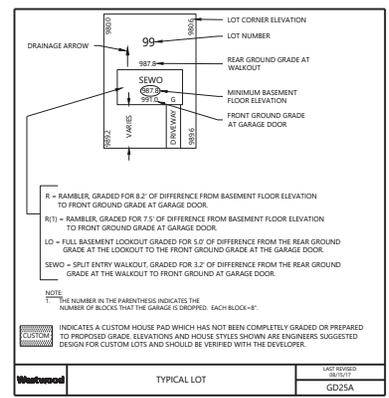
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GRADING & DRAINAGE NOTES

- ALL CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISHED SURFACE/GUTTER GRADES UNLESS OTHERWISE NOTED.
- REFER TO THE SITE PLAN/RECORD PLAT FOR MOST CURRENT HORIZONTAL SITE DIMENSIONS AND LAYOUT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHICAL FEATURES WITH THE OWNERS AND FIELD-VERIFY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL RULES.
- POSITIVE DRAINAGE FROM THE SITE MUST BE PROVIDED AT ALL TIMES.

EROSION CONTROL NOTES

- ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DYES, HAY BALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A ROCK ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
- REDUNDANT PERIMETER SEDIMENT CONTROLS ARE NECESSARY WHEN SOIL DISTURBANCE IS WITHIN 50 FEET OF SURFACE WATERS. REDUNDANT SEDIMENT CONTROLS COULD INCLUDE:
 - TWO ROWS OF SILT FENCE (SEPARATED BY 5 FEET); OR
 - SILT FENCE AND A TOPSOIL BERM (STABILIZE BERM WITH MULCH); OR
 - SILT FENCE AND FIBER LOGS; OR
 - TOPSOIL BERM AND FIBER LOGS (STABILIZE BERM WITH MULCH).
- REDUNDANT SEDIMENT CONTROLS MUST BE INSTALLED PRIOR TO DISTURBING WITHIN 50 FEET OF THE SURFACE WATER.



SEE SHEET 05

SEE SHEET 06

DESIGNED: TDD
 CHECKED: CHF
 DRAWN: DWW
 HORIZONTAL SCALE: 100'
 VERTICAL SCALE: 20' OR 30'

INITIAL ISSUE	02/02/26
REVISIONS:	
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SUMMERGATE COMPANIES LLC
 17305 CEDAR AVENUE, SUITE 200
 LAKEVILLE, MN 55044

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THOMAS D. DESUTTER
 DATE: 02/02/26, LICENSE NO.: 59640

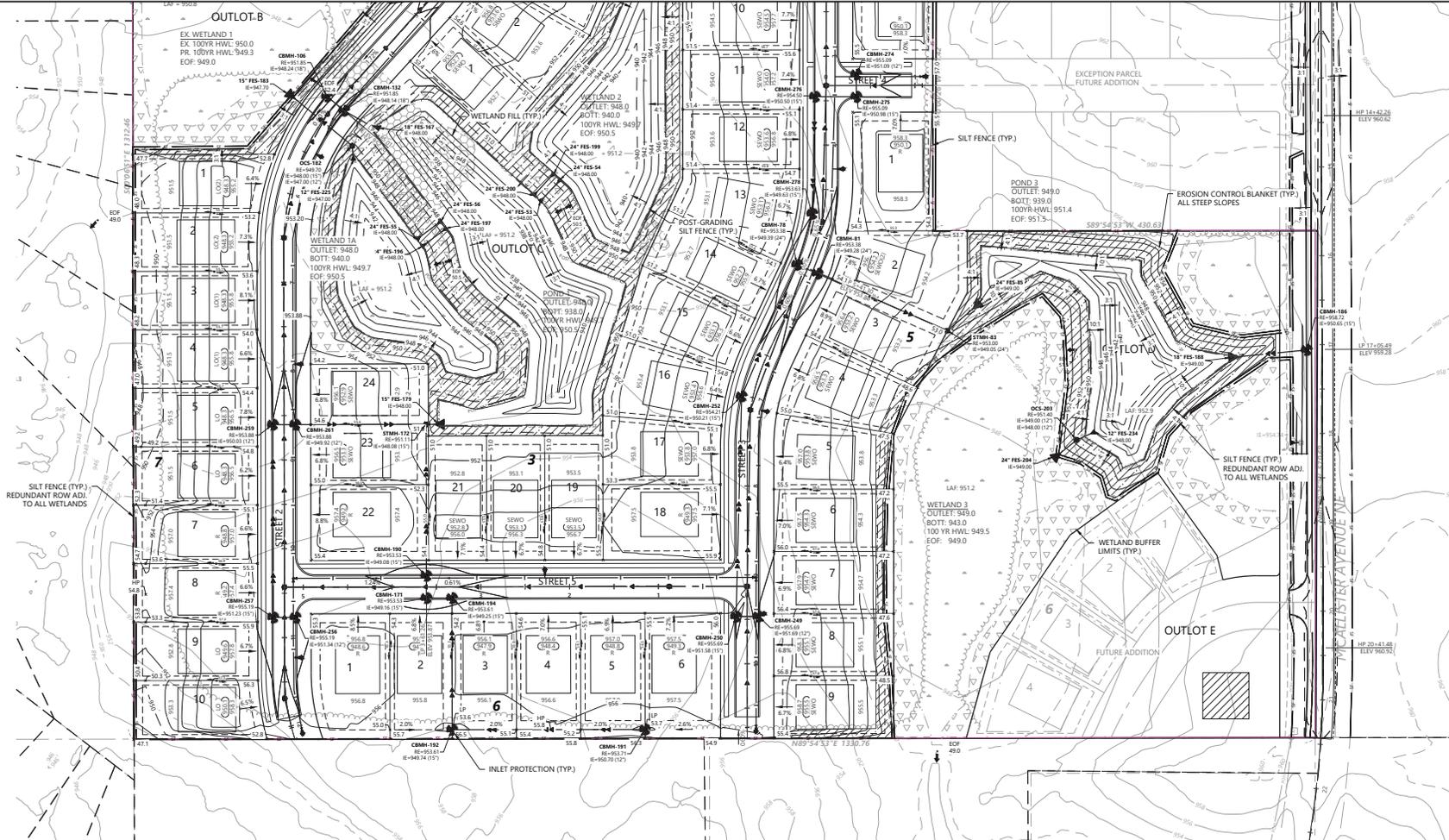
MEADOW HAVEN
 OTSEGO, MN

Westwood
 Phone (952) 937-5150 12705 Whitewater Drive, Suite F300
 (888) 937-5150 Minneapolis, MN 55434
 westwood@ps.com
 Westwood Professional Services, Inc.

OVERALL PRELIMINARY
 GRADING, DRAINAGE
 AND EROSION CONTROL
 PROJECT NUMBER: 0052504.00

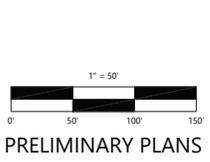
SHEET NUMBER:
04 OF **24**
 DATE: 02/02/26

MEADOW HAVEN



GRADING LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	PROPOSED	PROPOSED
SP-10	SP-10	PROPERTY LINE	STORM SEWER	CL-CL 900.00	CL-CL ELEVATION
INDEX CONTOUR	INDEX CONTOUR	SOIL BORING LOCATION	INLET PROTECTION	0.00%	FLOW DIRECTION
INTERVAL CONTOUR	INTERVAL CONTOUR	TREE LINE	RETAINING WALL (MODULAR BLOCK)	TW-XXXXXX	TOP AND BOTTOM OF RETAINING WALL
SPOT ELEVATION	SPOT ELEVATION	RETAINING WALL (MODULAR BLOCK)	POND NORMAL WATER LEVEL	BW-XXXXXX	EMERGENCY OVERFLOW
HP/LP 900.00	HP/LP 900.00	SILT FENCE-POST GRADING	SILT FENCE-POST GRADING	XXXXXX	PROPOSED STREET PROFILE GRADE
HIGH/LOW POINT	HIGH/LOW POINT				
					ROCK CONSTRUCTION ENTRANCE
					EROSION CONTROL BLANKET
					TURF REINFORCEMENT MAT
					SILT FENCE



DESIGNED:	TDD	INITIAL ISSUE:	02/02/26
CHECKED:	TDD	REVISIONS:	
DRAWN:	DW		
HORIZONTAL SCALE:	50'		
VERTICAL SCALE:	10' OR 8"		

PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

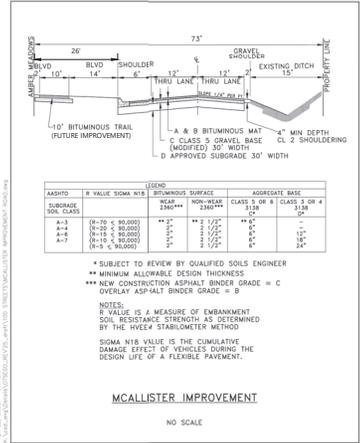
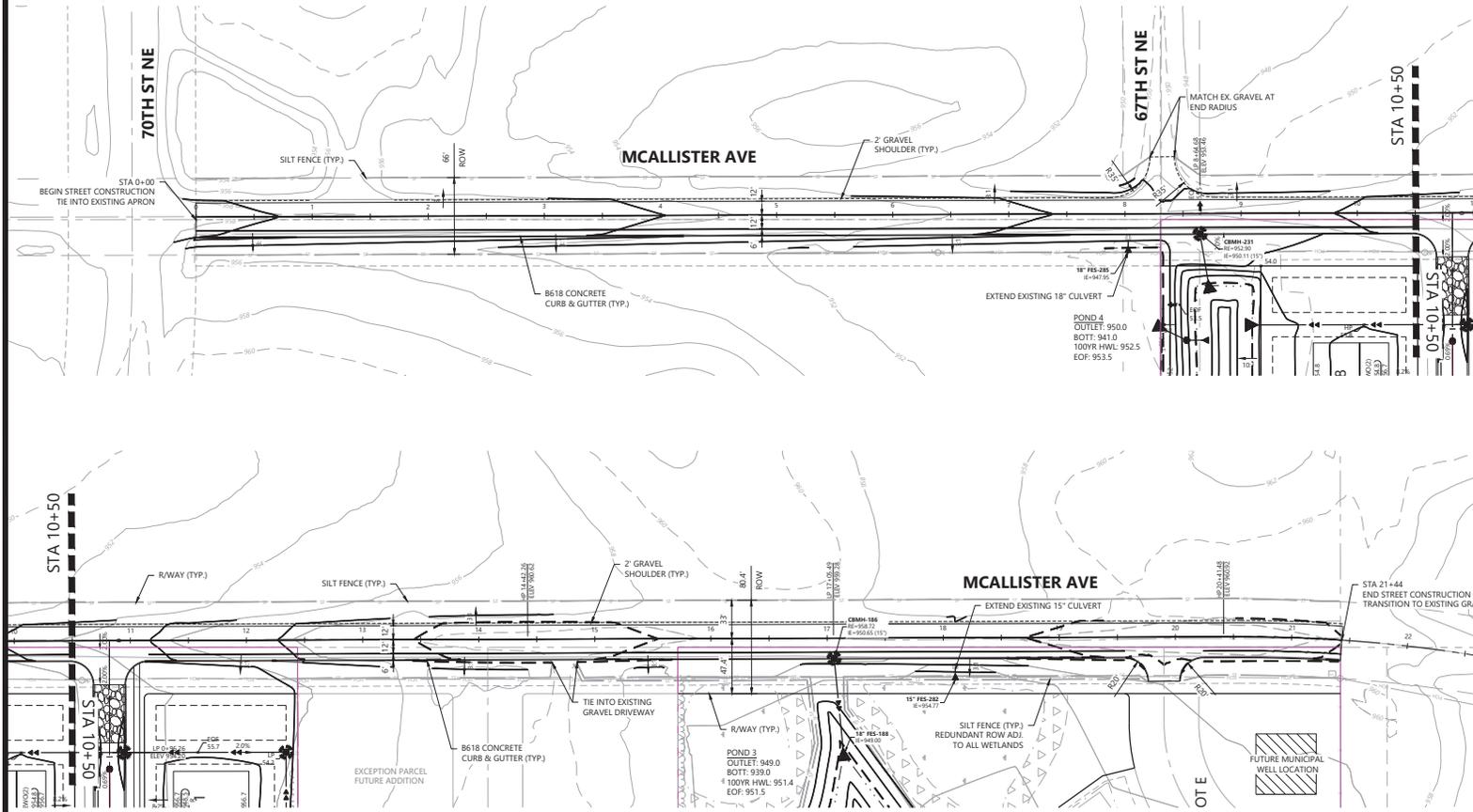
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THOMAS D. DESUTTER
DATE: 02/02/26, LICENSE NO: 59640

MEADOW HAVEN
OTSEGO, MN

Westwood
Phone (952) 937-5150 12702 Whitewater Drive, Suite F300
Fax (888) 937-5150 Minneapolis, MN 55343
westwoodps.com
Westwood Professional Services, Inc.

PRELIMINARY GRADING
DRAINAGE AND EROSION
CONTROL
PROJECT NUMBER: 0052504.00

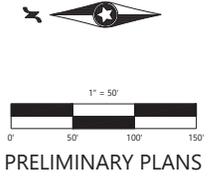
SHEET NUMBER:
06 OF **24**
DATE: 02/02/26



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GRADING LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	PROPOSED	PROPOSED
SP-19	SP-19	PROPERTY LINE	STORM SEWER	CL-CL ELEVATION	ROCK CONSTRUCTION ENTRANCE
SOIL BORING LOCATION	INDEX CONTOUR	INDEX CONTOUR	INLET PROTECTION	FLOW DIRECTION	EROSION CONTROL BLANKET
SPOT ELEVATION	HP/LP	SPOT ELEVATION	TREE LINE	TOP AND BOTTOM OF RETAINING WALL	TURF REINFORCEMENT MAT
HIGH/LOW POINT			RETAINING WALL (MODULAR BLOCK)	EMERGENCY OVERFLOW	SILT FENCE
			POND NORMAL WATER LEVEL	PROPOSED STREET PROFILE GRADE	
			SILT FENCE-POST GRADING		



DESIGNED: TDD	INITIAL ISSUE: 02/02/26
CHECKED: TDD	REVISIONS:
DRAWN: DW	
HORIZONTAL SCALE: 50'	
VERTICAL SCALE: 10' OR 8'	

PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
THOMAS D. DESUTTER
DATE: 02/02/26, LICENSE NO.: 59640

MEADOW HAVEN
OTSEGO, MN

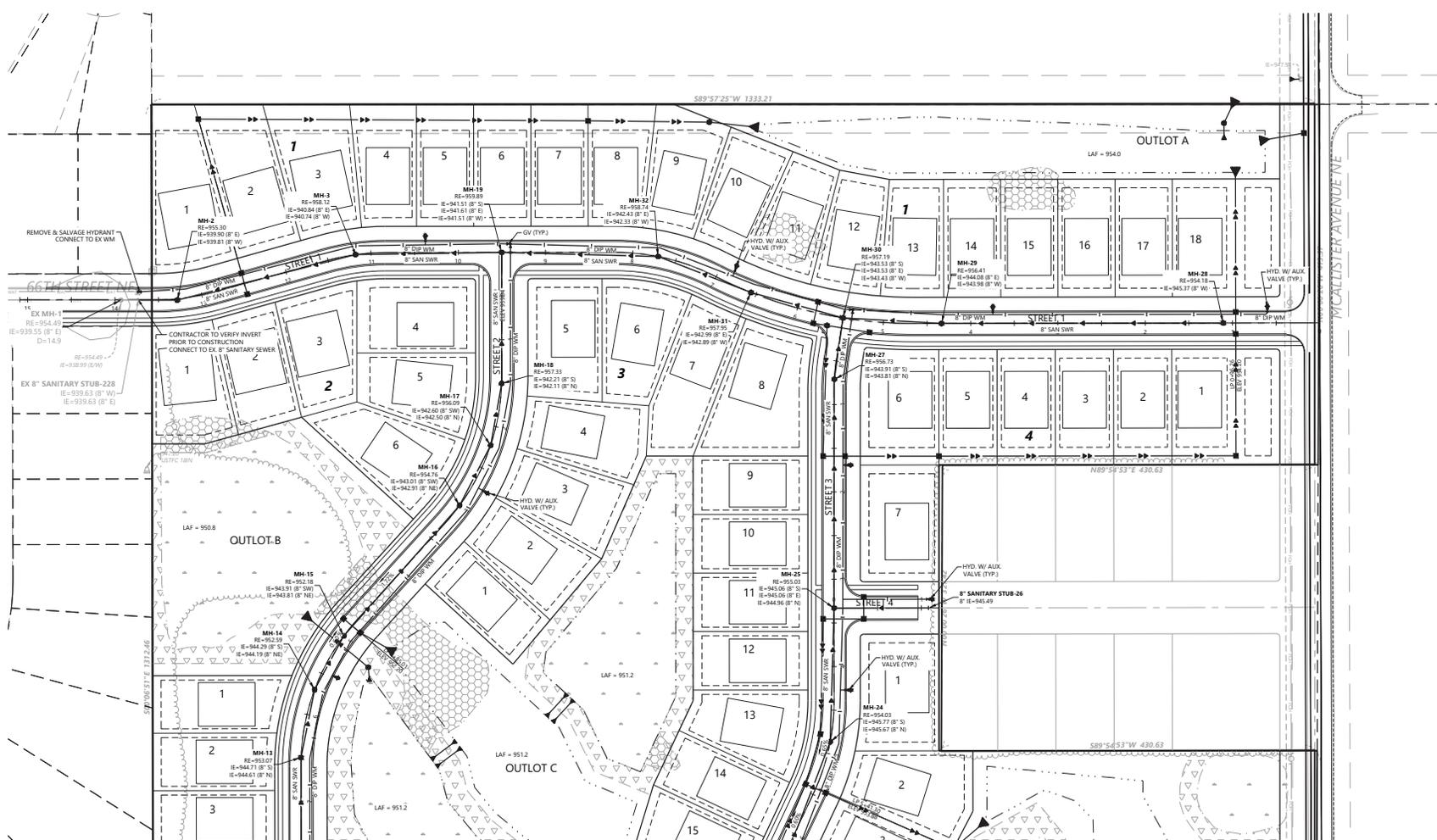
Westwood
Phone (952) 937-5150 12702 Whitewater Drive, Suite F300
14 Free (888) 937-5150 Minneapolis, MN 55443
westwoodsg.com
Westwood Professional Services, Inc.

SHEET NUMBER: **07** OF **24**
MCALLISTER IMPROVEMENT PLAN
PROJECT NUMBER: 00525400.00 DATE: 02/02/26

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UTILITY LEGEND

EXISTING	PROPOSED	
— SWW	— SWW	SANITARY SEWER
— STW	— STW	STORM SEWER
— WMT	— WMT	DRAIN TILE
— WMT	— WMT	WATER MAIN
— WMT	— WMT	HYDRANT

GENERAL UTILITY NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DIFFERENCES.
2. UNLESS OTHERWISE NOTED, ALL MATERIALS, CONST. TECHNIQUES AND TESTING SHALL CONFORM TO THE 2023 ED. OF THE "STANDARD UTILITIES SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION BY THE CITY ENGINEERING ASSOCIATION OF MINN." AND TO THE "STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION" MINN. DEPT. OF TRANS., 2020 EDITION AND SUPPLEMENTAL SPECIFICATIONS SEPTEMBER 2022. THE CONTRACTOR SHALL BE REQUIRED TO FOLLOW ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
3. THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMITS FOR ALL WORK OUTSIDE OF THE PROPERTY LIMITS.
4. VERIFY EXISTING INVERT LOCATION & ELEVATION PRIOR TO BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL" FOR UTILITY LOCATIONS PRIOR TO UTILITY INSTALLATION.



1" = 60'
PRELIMINARY PLANS

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MEADOW HAVEN

DESIGNED: TDD
CHECKED: CHF
DRAWN: DW
HORIZONTAL SCALE: 60'
VERTICAL SCALE: 12' OR 6'

INITIAL ISSUE: 02/02/26
REVISIONS:
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PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

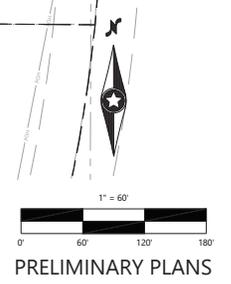
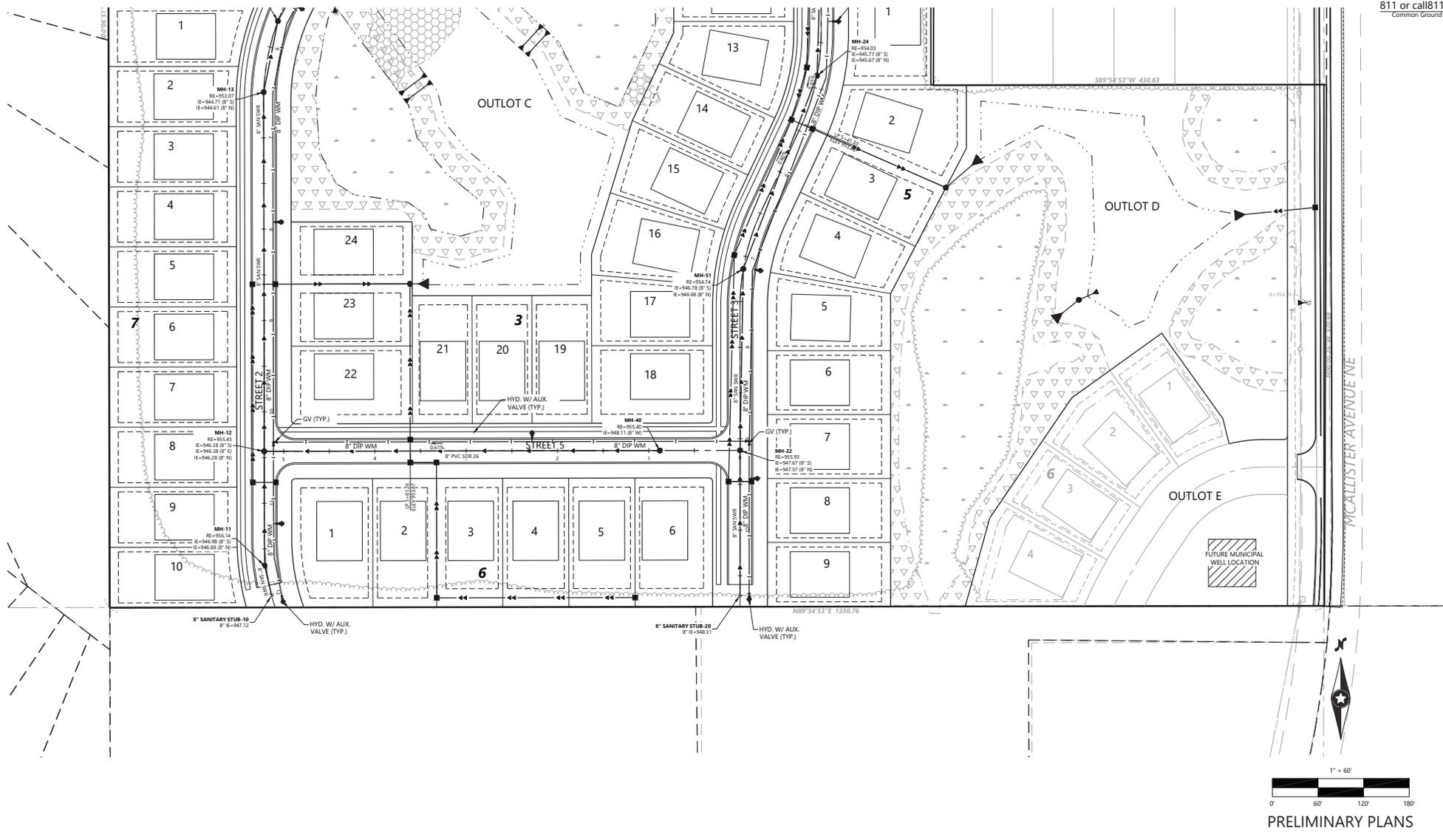
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THOMAS D. DESUTTER
DATE: 02/02/26, LICENSE NO.: 59640

MEADOW HAVEN
OTSEGO, MN

Westwood
Phone (952) 937-5150 12705 Whitewater Drive, Suite F300
Fax (952) 937-5150 Minneapolis, MN 55434
westwood@ps.com
Westwood Professional Services, Inc.

PRELIMINARY UTILITY PLAN

SHEET NUMBER: **08** OF **24**
DATE: 02/02/26
PROJECT NUMBER: 0052504.00



DESIGNED:	TDD
CHECKED:	CHF
DRAWN:	DW
HORIZONTAL SCALE:	60'
VERTICAL SCALE:	12' OR 6'

INITIAL ISSUE:	02/02/26
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PREPARED FOR:
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17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

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THOMAS D. DESUTTER
DATE: 02/02/26, LICENSE NO.: 59640

MEADOW HAVEN
OTSEGO, MN

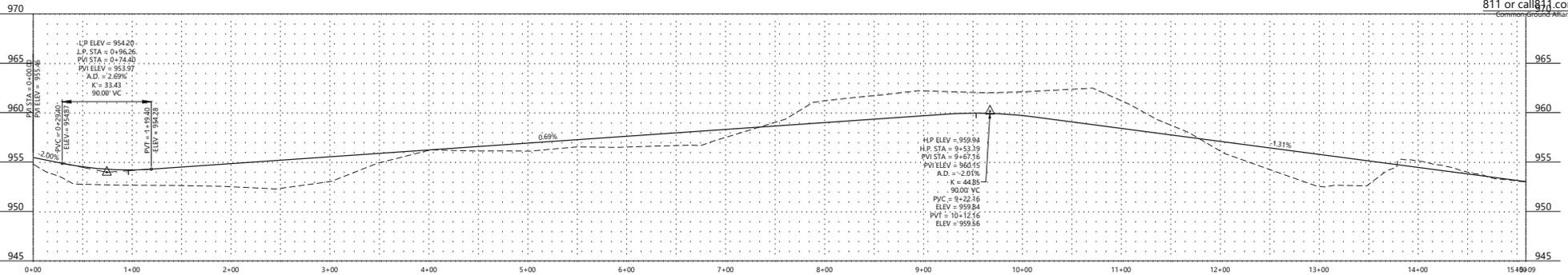
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Fax Free (888) 937-5150 Minneapolis, MN 55343
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PRELIMINARY UTILITY PLAN
PROJECT NUMBER: 0052504.00
SHEET NUMBER: 09 OF 24
DATE: 02/02/26

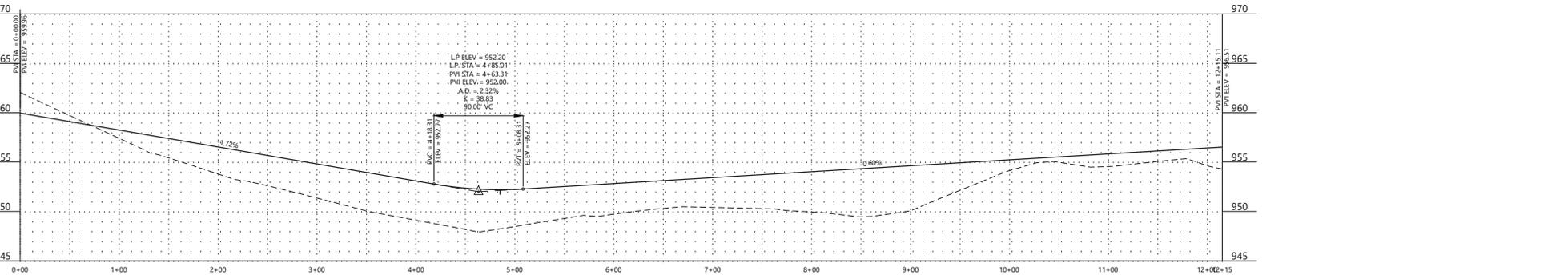
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STREET 01

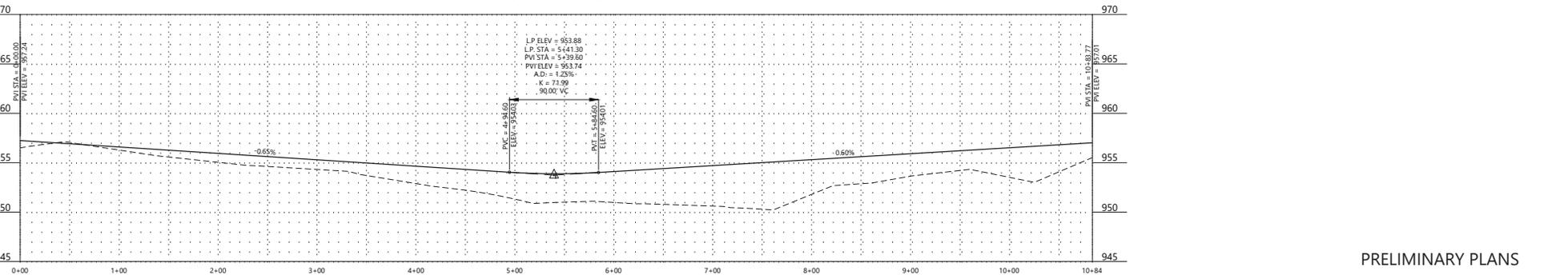
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STREET 02



STREET 03



PRELIMINARY PLANS

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DRAWN:	DW
HORIZONTAL SCALE:	
VERTICAL SCALE:	

INITIAL ISSUE:	02/02/26
REVISIONS:	

PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
THOMAS D. DESUTTER
DATE: 02/02/26, LICENSE NO.: 59640

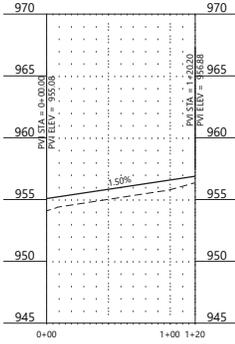
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OTSEGO, MN

Westwood
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Fax Free (888) 937-5150 Minneapolis, MN 55443
westwood@ps.com
Westwood Professional Services, Inc.

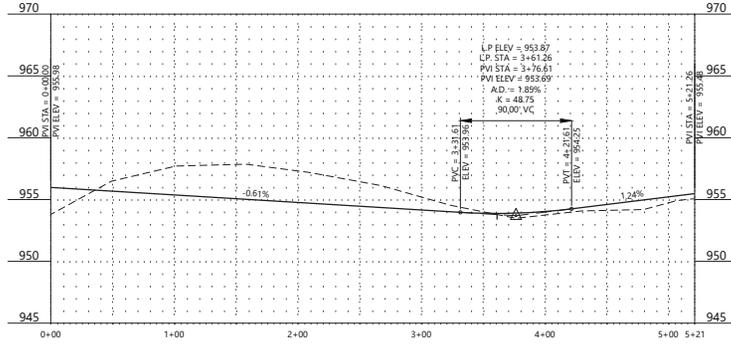
SHEET NUMBER:
10 OF **24**
STREET PROFILES
PROJECT NUMBER: 0052504.00 DATE: 02/02/26

MEADOW HAVEN

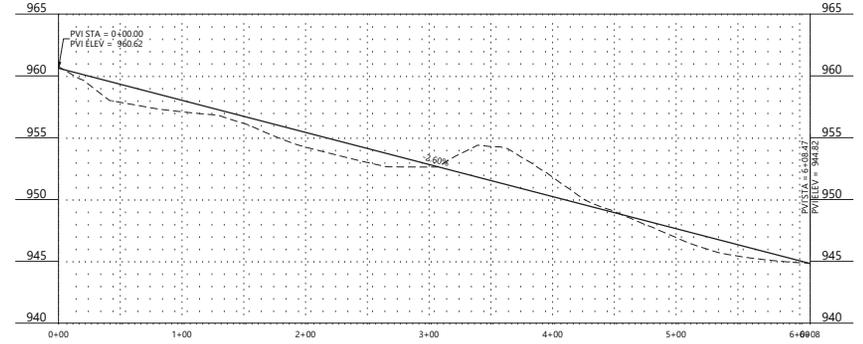
STREET 04



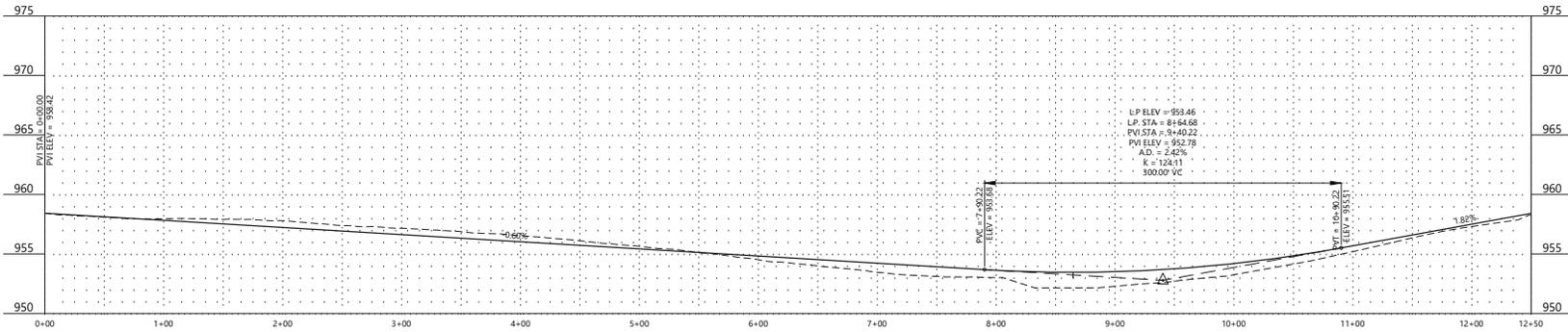
STREET 05



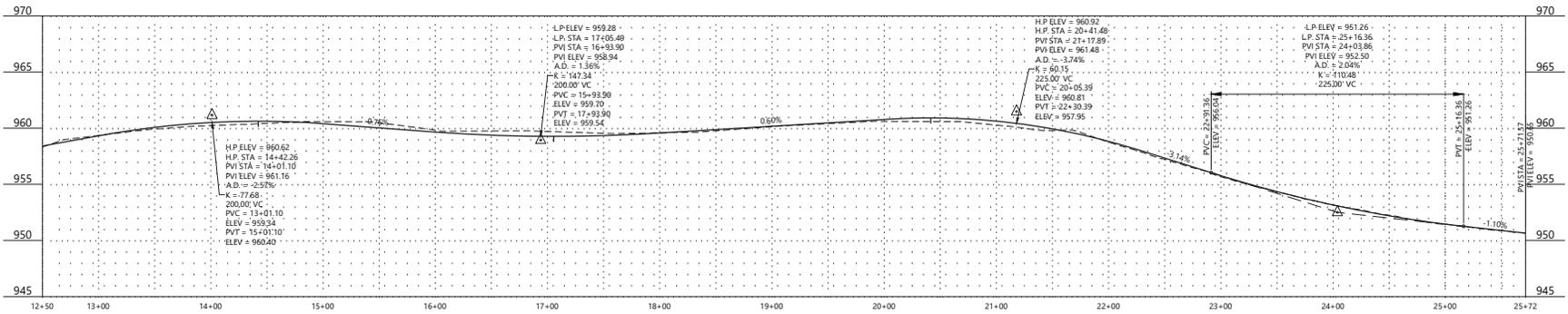
STREET 06



McAllister Ave



McAllister Ave



PRELIMINARY PLANS

DESIGNED:	TDD	INITIAL ISSUE:	02/02/26
CHECKED:	TDD	REVISIONS:	
DRAWN:	DW		
HORIZONTAL SCALE:			
VERTICAL SCALE:			

PREPARED FOR:
SUMMERGATE COMPANIES LLC
 17305 CEDAR AVENUE, SUITE 200
 LAKEVILLE, MN 55044

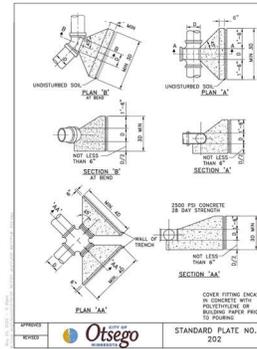
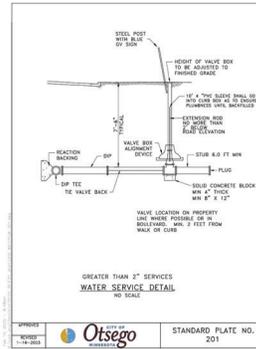
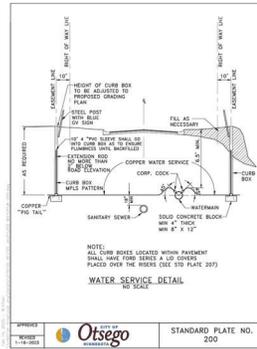
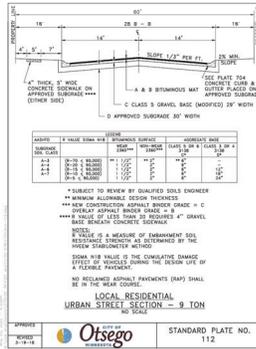
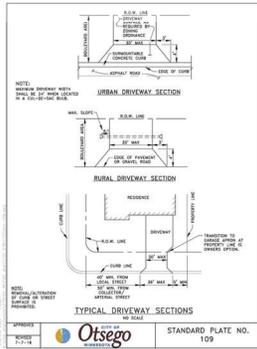
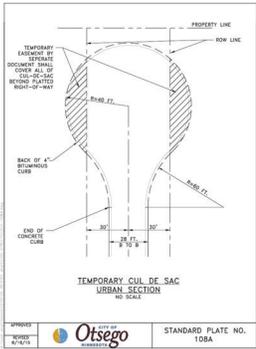
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
THOMAS D. DESUTTER
 DATE: 02/02/26, LICENSE NO.: 59640

MEADOW HAVEN
 OTSEGO, MN



STREET PROFILES

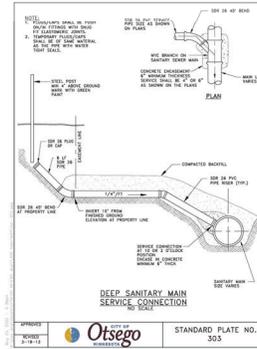
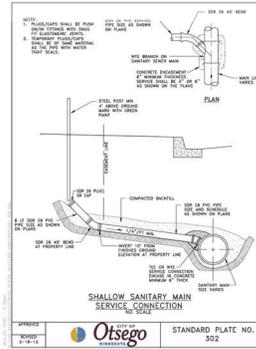
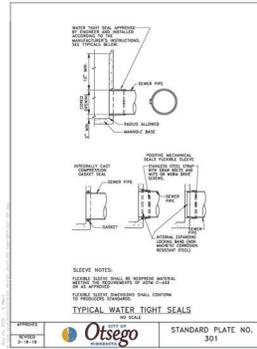
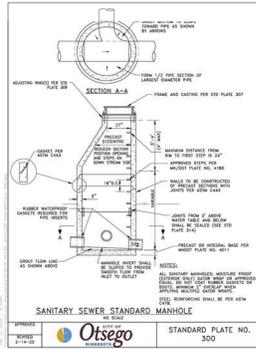
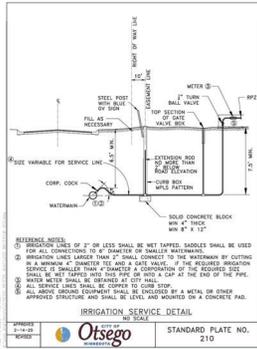
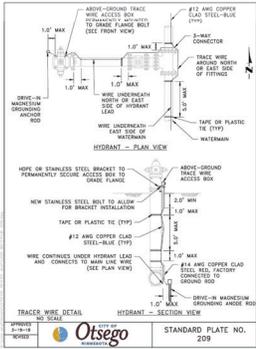
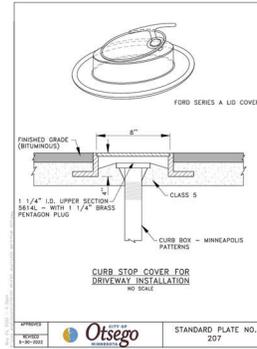
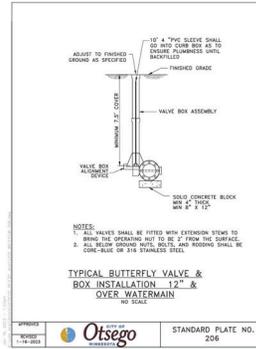
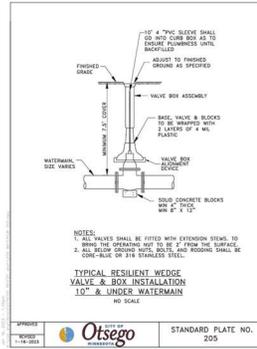
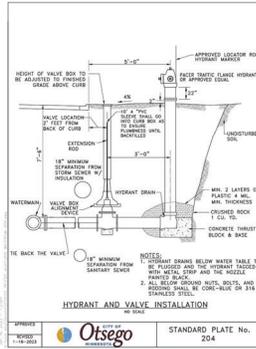
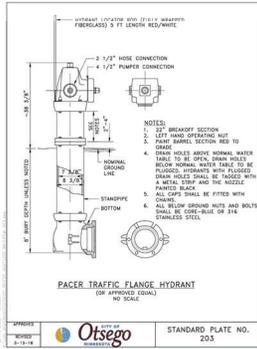
SHEET NUMBER:
11 OF **24**
 PROJECT NUMBER: 0052504.00 DATE: 02/02/26



WATERMAIN CONCRETE BLOCKING QUANTITIES

PIPE SIZE	TYPE OF FLAG	CROWN IN 2' SPANS	18 BENDS (45° BENDS AND 135 BENDS) (2.5')
4"	0.22 Curb	0.13 Curb	0.09 Curb
6"	0.37 Curb	0.28 Curb	0.18 Curb
8"	0.52 Curb	0.48 Curb	0.31 Curb
10"	0.67 Curb	0.73 Curb	0.47 Curb
12"	0.82 Curb	1.03 Curb	0.68 Curb
14"	0.97 Curb	1.38 Curb	0.99 Curb
16"	1.12 Curb	1.77 Curb	1.38 Curb

STANDARD PLATE NO. 202a



PRELIMINARY PLANS

DESIGNED: TDD	INITIAL ISSUE: 02/02/26
CHECKED: CHF	REVISIONS:
DRAWN: DWW	▲
HORIZONTAL SCALE: ###	▲
VERTICAL SCALE: ## OR #	▲

PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

DATE: 02/02/26, LICENSE NO.: 59640

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

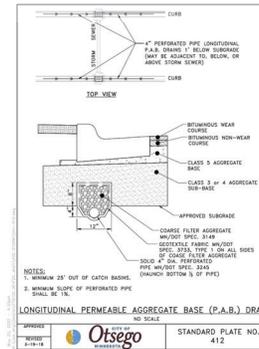
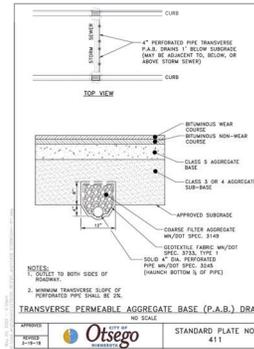
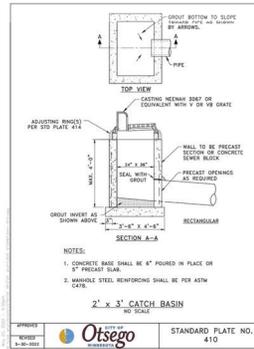
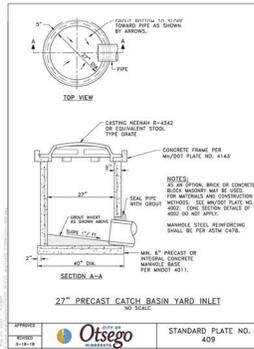
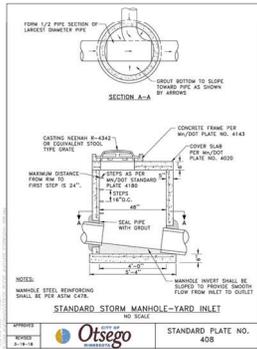
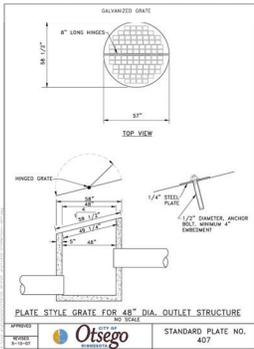
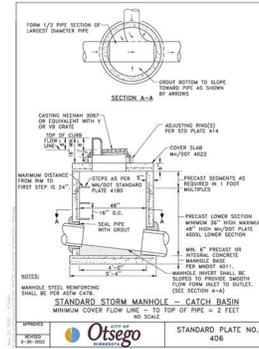
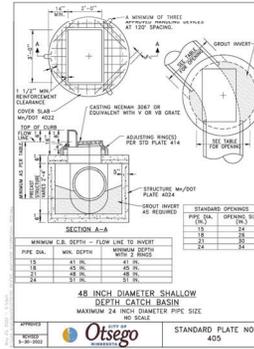
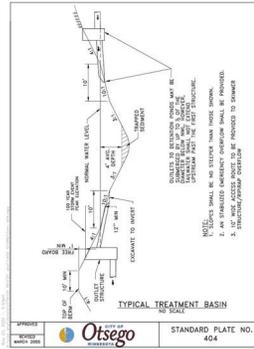
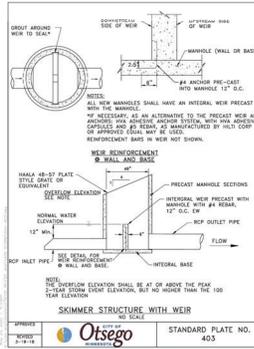
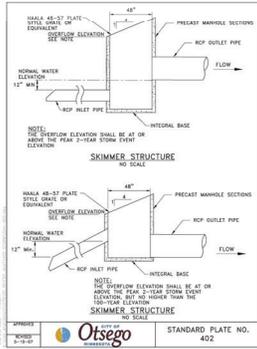
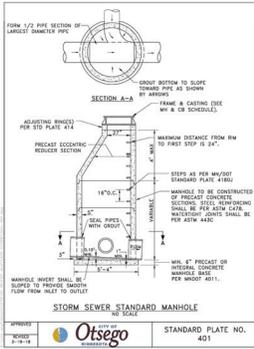
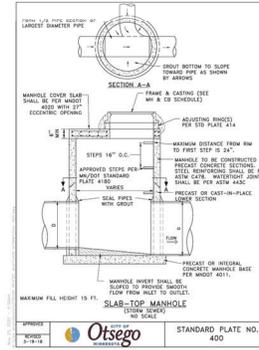
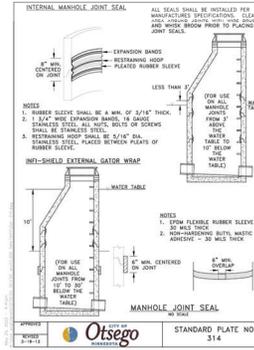
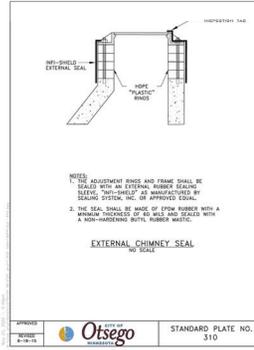
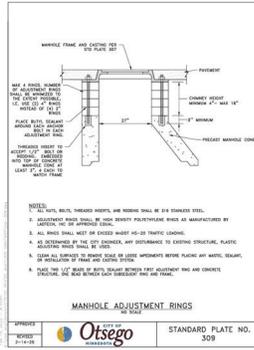
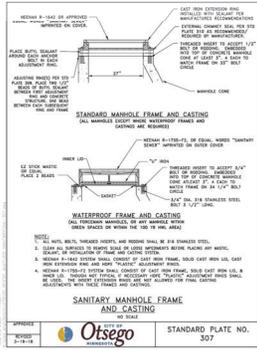
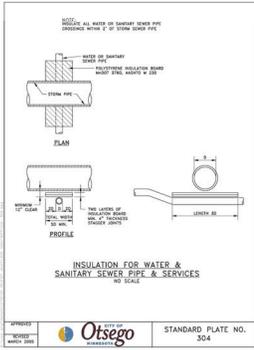
THOMAS D. DESUTTER
DATE: 02/02/26, LICENSE NO.: 59640

Westwood
Professional Services, Inc.

Phone: (852) 837-4190 12701 Whitewater Drive, Suite #300
Fax: (852) 837-8822 Mendota Heights, MN 55120
Toll-Free: (888) 837-4190 westwood.com

SHEET NUMBER:
12 OF **24**

PROJECT NUMBER: 00525400 DATE: 02/02/26



PRELIMINARY PLANS

DESIGNED: TDO
CHECKED: CHF
DRAWN: DWW
HORIZONTAL SCALE: #1/8" = 1'-0"
VERTICAL SCALE: #1/8" OR #1/4"

INITIAL ISSUE: 02/02/26
REVISIONS:

PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

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THOMAS D. DESUTTER
DATE: 02/02/26 LICENSE NO.: 59640

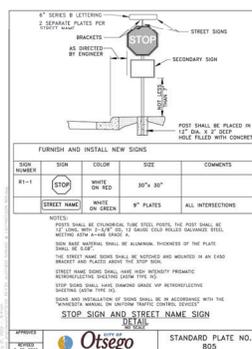
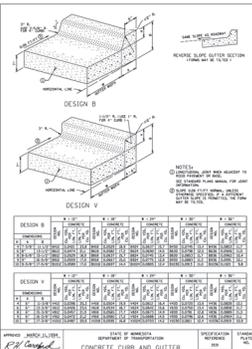
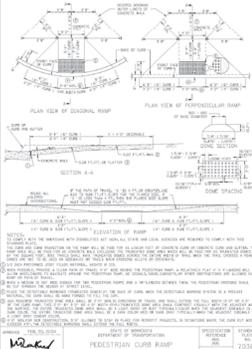
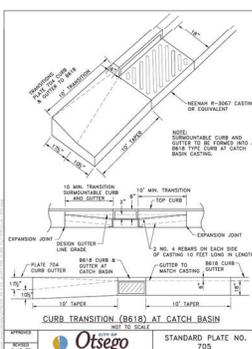
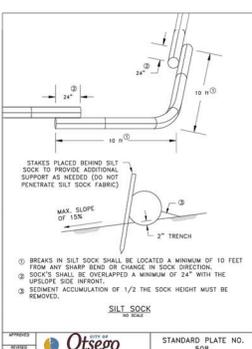
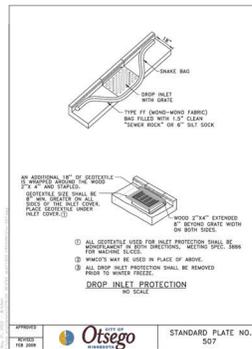
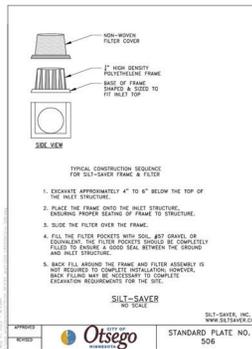
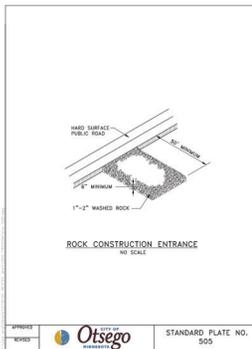
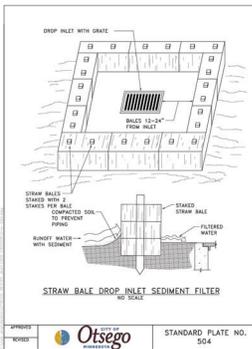
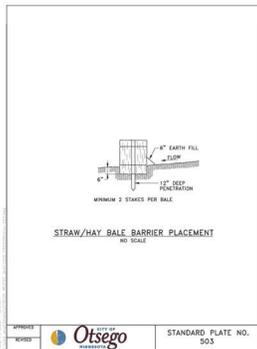
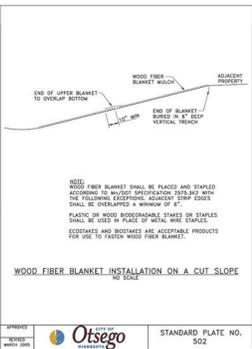
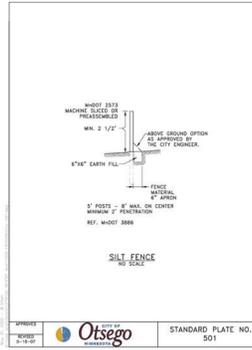
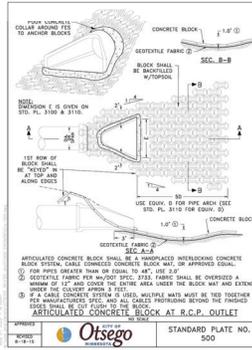
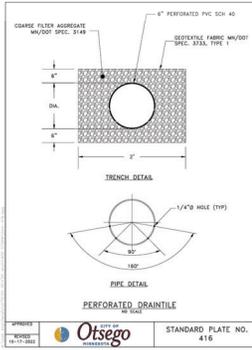
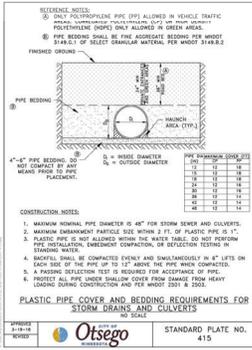
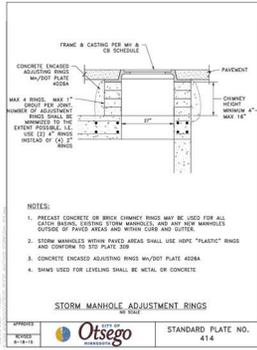
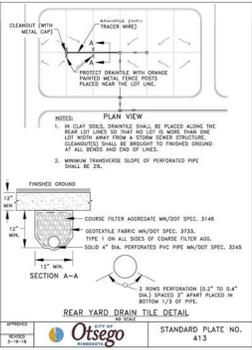
MEADOW HAVEN
OTSEGO, MN

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Phone: (852) 837-5150 12701 Whitewater Drive, Suite #300
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Toll-Free: (888) 837-5150
www.westwoodps.com

DETAILS

PROJECT NUMBER: 00525400.0

SHEET NUMBER:
13 OF **24**
DATE: 02/02/26



PRELIMINARY PLANS

DESIGNED:	TDO
CHECKED:	CHF
DRAWN:	DFW
HORIZONTAL SCALE:	1"=10'
VERTICAL SCALE:	1"=4'

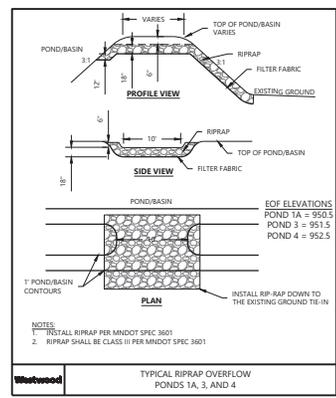
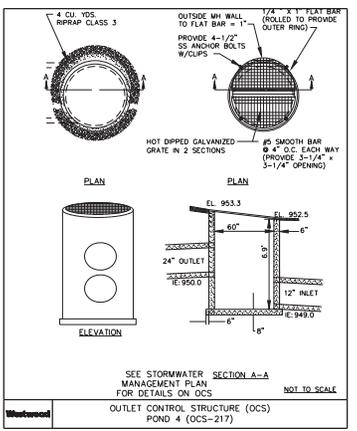
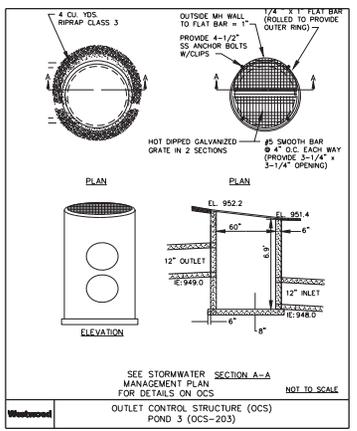
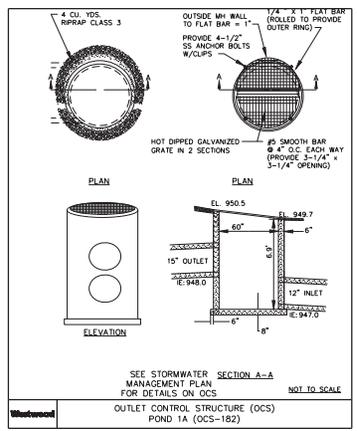
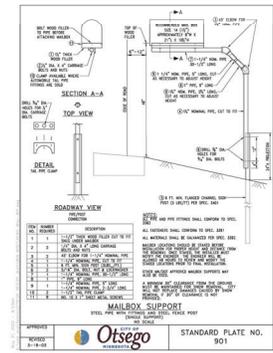
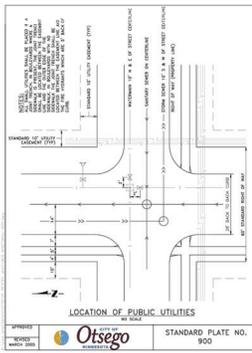
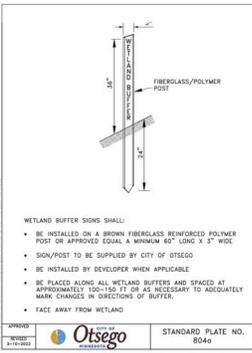
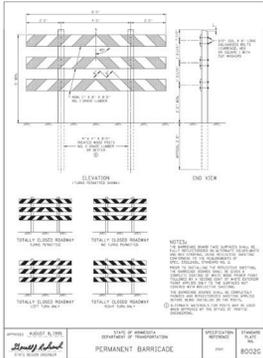
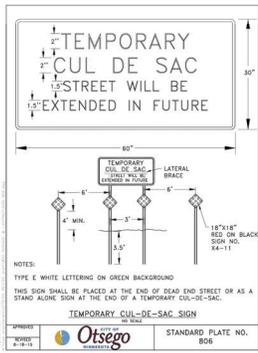
PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

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THOMAS D. DESUTTER
DATE: 02/02/26 LICENSE NO.: 59640

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Minnetonka, MN 55345
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SHEET NUMBER:
14 OF **24**
PROJECT NUMBER: 00525404 DATE: 02/02/26

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PRELIMINARY PLANS

DESIGNED:	TDD
CHECKED:	CHF
DRAWN:	DW
HORIZONTAL SCALE:	###
VERTICAL SCALE:	### OR ##

INITIAL ISSUE:	02/02/26
REVISIONS:	

PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

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THOMAS D. DESUTTER
DATE: 02/02/26, LICENSE NO.: 59640

MEADOW HAVEN
OTSEGO, MN

Westwood
Professional Services, Inc.

Phone: (852) 937-5190 12701 Whitewater Drive, Suite #300
Fax: (852) 937-5822 Minneapolis, MN 55443
Toll-Free: (888) 937-5190 westwoodps.com

DETAILS

SHEET NUMBER:
15 OF **24**

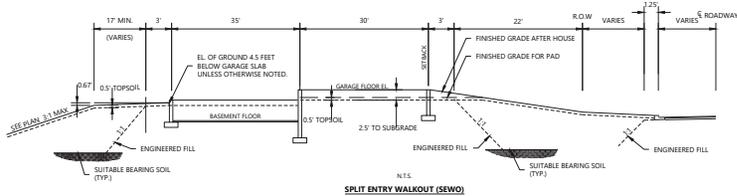
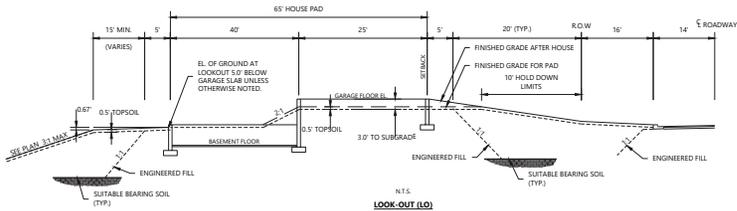
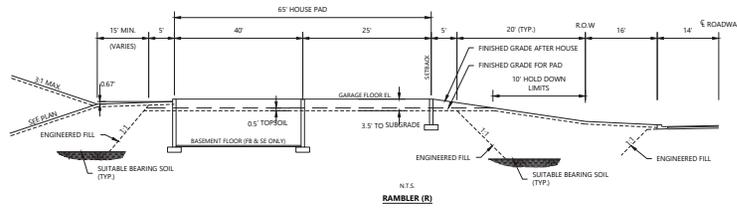
PROJECT NUMBER: 0052540.00 DATE: 02/02/26

MEADOW HAVEN

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HOLD DOWN DETAILS



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PRELIMINARY PLANS

DESIGNED:	TDO	INITIAL ISSUE:	02/02/26
CHECKED:	TDO	REVISIONS:	
DRAWN:	DW	▲	
HORIZONTAL SCALE:	###	▲	
VERTICAL SCALE:	### OR ##	▲	

PREPARED FOR:
SUMMERGATE COMPANIES LLC
 17305 CEDAR AVENUE, SUITE 200
 LAKEVILLE, MN 55044

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THOMAS D. DESUTTER
 DATE: 02/02/26, LICENSE NO.: 59640

MEADOW HAVEN
 OTSEGO, MN

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Phone: (852) 937-5190 12701 Whitewater Drive, Suite #300
 Fax: (852) 937-5922 Minneapolis, MN 55443
 Toll Free: (888) 937-5190 www.westwoodps.com

HOLD DOWN DETAILS

PROJECT NUMBER: 0052504.00

SHEET NUMBER:
16 OF **24**
 DATE: 02/02/26

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N:\00525040\DWG\CAL\P\PRELIMINARY\00525040\02.TPO1.DWG



TREE PRESERVATION CALCULATIONS

SIGNIFICANT TREE DEFINITION: A HEALTHY TREE MEASURING SIX INCHES (6") IN DIAMETER OR GREATER.

- D. TREE REPLACEMENT POLICY:
- SUBDIVIDERS AND BUILDERS SHALL BE REQUIRED TO REPLACE THE SIGNIFICANT TREES WHICH WERE INDICATED ON THE TREE PRESERVATION PLAN TO BE SAVED BUT ULTIMATELY WERE DESTROYED OR DAMAGED. THE SUBDIVIDER AND BUILDER SHALL BE REQUIRED TO REPLACE EACH OF THE SIGNIFICANT TREES DESTROYED OR DAMAGED WITH TWO (2) REPLACEMENT TREES. REPLACEMENT TREES MUST CONSIST OF NURSERY STOCK AND BE NO LESS THAN THE FOLLOWING SIZES:
 - DECIDUOUS TREES: NO LESS THAN TWO INCHES (2") IN DIAMETER.
 - CONIFEROUS TREES: NO LESS THAN SIX FEET (6') HIGH.
 - REPLACEMENT TREES SHALL BE SPECIES SIMILAR TO THE TREES WHICH WERE DESTROYED OR DAMAGED AND CAN INCLUDE: BIRCH, GINGKO (MADE ONLY), HACKBERRY, HONEY LOCUST, KENTUCKY COFFEE TREE, LINDEN, MAPLE, OAK, AUSTRIAN PINE, BLACK HILLS SPRUCE, COLORADO BLUE OR GREEN SPRUCE, FIR, WHITE PINE.

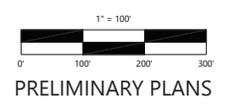
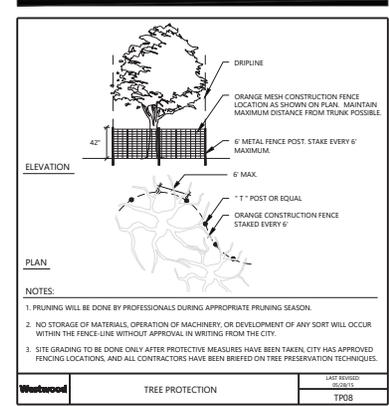
TREE PRESERVATION CALCULATIONS

TREE INVENTORY CALCULATIONS	
TOTAL TREES ON-SITE	240 TREES
	2,384 CAL. IN.
TOTAL TREES REMOVED	88 TREES
	930 CAL. IN.
TOTAL TREES SAVED	152 TREES
	1,452 CAL. IN.

LEGEND

- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO BE REMOVED
- EXISTING CONIFEROUS TREE TO REMAIN
- EXISTING CONIFEROUS TREE TO BE REMOVED
- SILT FENCE / REMOVAL AND DISTURBANCE LIMITS

TREE PROTECTION DETAIL



DESIGNED: TDD	INITIAL ISSUE: 02/02/26
CHECKED: TDD	REVISIONS:
DRAWN: DJW	▲
HORIZONTAL SCALE: 1/8" = 1'-0"	▲
VERTICAL SCALE: 20' OR 30'	▲

PREPARED FOR:
SUMMERGATE COMPANIES LLC
 17305 CEDAR AVENUE, SUITE 200
 LAKEVILLE, MN 55044

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
CORY L. MEYER
 DATE: 02/02/26 LICENSE NO.: 26971

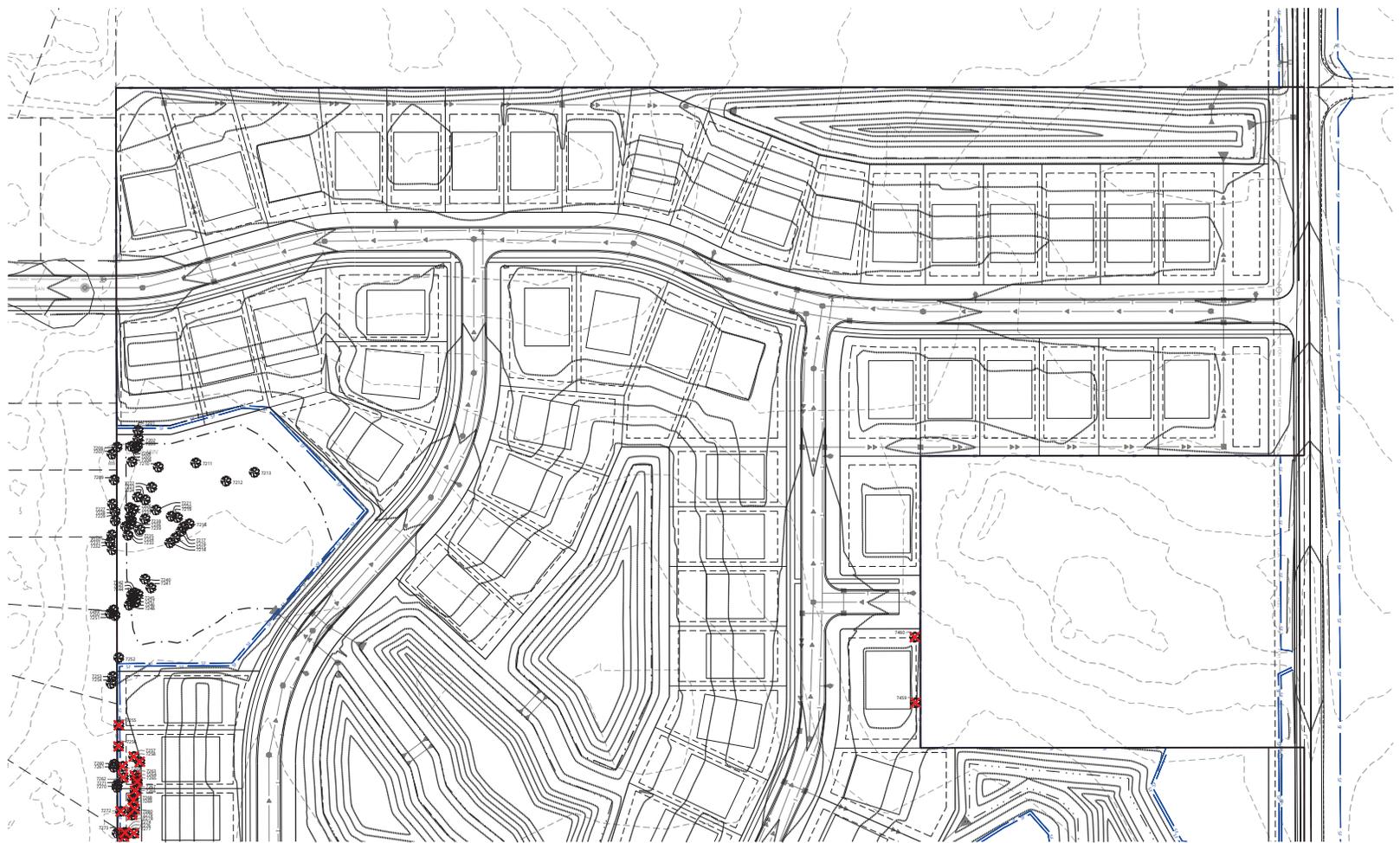
MEADOW HAVEN
 OTSEGO, MN

Westwood
 Phone: (952) 937-5150 12705 Whitewater Drive, Suite #300
 Fax: (952) 937-5150 Minneapolis, MN 55434
 westwood@ps.com
 Westwood Professional Services, Inc.

OVERALL PRELIMINARY
TREE PRESERVATION
 PLAN
 PROJECT NUMBER: 0052504.00

SHEET NUMBER:
17 OF **24**
 DATE: 02/02/26

MEADOW HAVEN



LEGEND

-  EXISTING DECIDUOUS TREE TO REMAIN
-  EXISTING DECIDUOUS TREE TO BE REMOVED
-  EXISTING CONIFEROUS TREE TO REMAIN
-  EXISTING CONIFEROUS TREE TO BE REMOVED
-  SILT FENCE / REMOVAL AND DISTURBANCE LIMITS



MEADOW HAVEN

DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	DWW
HORIZONTAL SCALE:	###
VERTICAL SCALE:	### OR ##

INITIAL ISSUE:	02/02/26
REVISIONS:	
▲	
▲	
▲	
▲	
▲	

PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

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CORY L. MEYER
DATE: 02/02/26 LICENSE NO.: 26971

MEADOW HAVEN
OTSEGO, MN

Westwood
Phone (952) 937-5150 12705 Whitewater Drive, Suite F300
Free (888) 937-5150 Minneapolis, MN, 55443
westwood@ps.com
Westwood Professional Services, Inc.

PRELIMINARY TREE PRESERVATION PLAN

SHEET NUMBER: **18** OF **24**
PROJECT NUMBER: 0052504.00 DATE: 02/02/26

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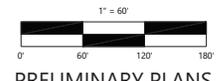
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Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

LEGEND

- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO BE REMOVED
- EXISTING CONIFEROUS TREE TO REMAIN
- EXISTING CONIFEROUS TREE TO BE REMOVED
- SILT FENCE / REMOVAL AND DISTURBANCE LIMITS



MEADOW HAVEN

DESIGNED:	TDD	INITIAL ISSUE:	02/02/26
CHECKED:	TDD	REVISIONS:	
DRAWN:	DW		
HORIZONTAL SCALE:	60'		
VERTICAL SCALE:	12' OR 6'		

PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
CORY L. MEYER
DATE: 02/02/26, LICENSE NO.: 26971

MEADOW HAVEN
OTSEGO, MN

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Toll Free (888) 937-5150 Minneapolis, MN, 55443
westwoodps.com
Westwood Professional Services, Inc.

PRELIMINARY TREE PRESERVATION PLAN

SHEET NUMBER:
19 OF **24**
PROJECT NUMBER: 0052504.00 DATE: 02/02/26

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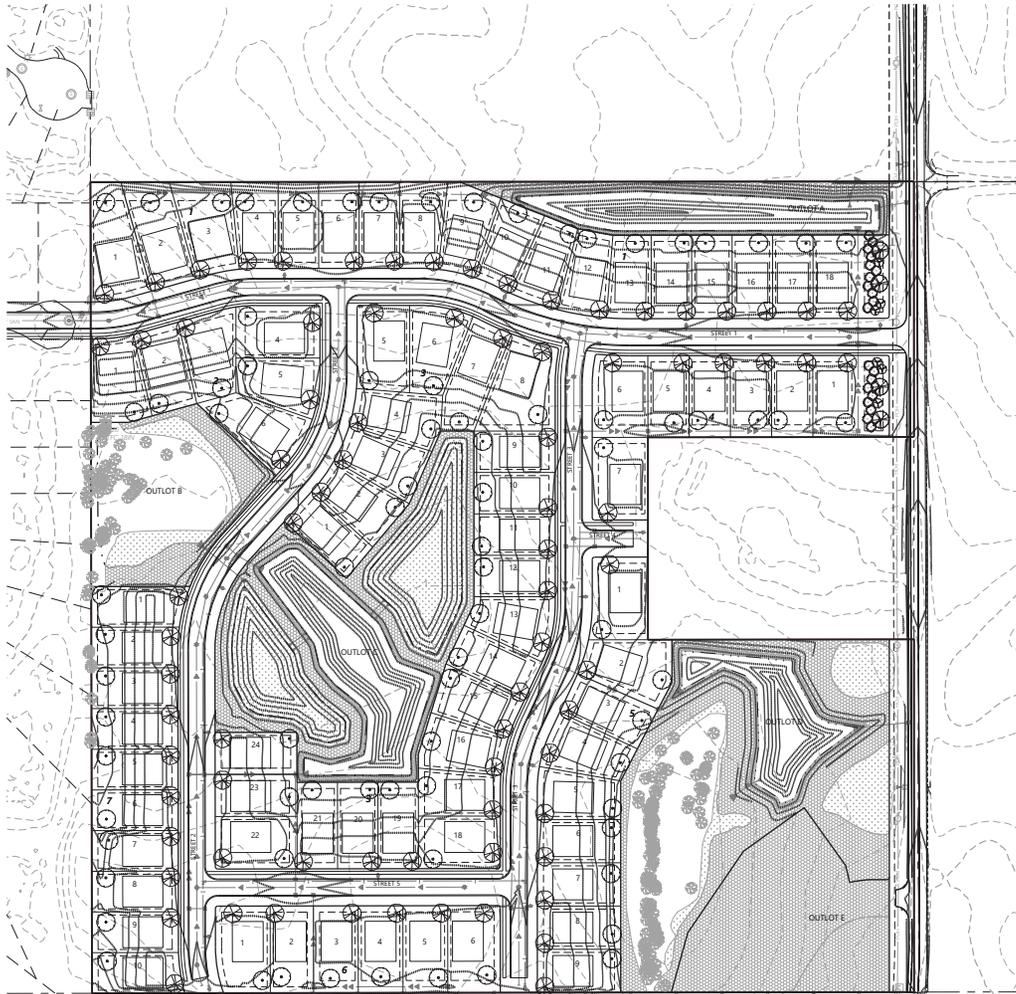
TREE TAG	SPECIES	DBH IN	MULTI	NOTES	TREE TYPE	OUTCOME
7201	Bowelder	6			Deciduous	Sawed
7202	Bowelder	10	x		Deciduous	Sawed
7203	American Elm	20			Deciduous	Sawed
7204	American Elm	13			Deciduous	Sawed
7205	American Elm	12			Deciduous	Sawed
7206	American Elm	16	x		Deciduous	Sawed
7207	Bowelder	6			Deciduous	Offsite
7208	Bowelder	6			Deciduous	Sawed
7209	Bowelder	18	x		Deciduous	Offsite
7210	Bowelder	12			Deciduous	Sawed
7211	Bowelder	11			Deciduous	Sawed
7212	Bowelder	12			Deciduous	Sawed
7213	Bowelder	8			Deciduous	Sawed
7214	Bowelder	13			Deciduous	Sawed
7215	Bowelder	10			Deciduous	Sawed
7216	Bowelder	8			Deciduous	Sawed
7217	Bowelder	6			Deciduous	Sawed
7218	Bowelder	10			Deciduous	Sawed
7219	Bowelder	10			Deciduous	Sawed
7220	Bowelder	10			Deciduous	Sawed
7221	Bowelder	10			Deciduous	Sawed
7222	Bowelder	12			Deciduous	Sawed
7223	Bowelder	6			Deciduous	Sawed
7224	Cottonwood	30			Deciduous	Sawed
7225	Bowelder	8			Deciduous	Sawed
7226	Bowelder	6			Deciduous	Sawed
7227	Green & White Ash	9			Deciduous	Offsite
7228	Bowelder	14	x		Deciduous	Offsite
7229	Bowelder	10			Deciduous	Offsite
7230	Bowelder	11	x		Deciduous	Offsite
7231	Bowelder	15		bd 40% crown death	Deciduous	Offsite
7232	Bowelder	14			Deciduous	Offsite
7233	Bowelder	6			Deciduous	Sawed
7234	Bowelder	6			Deciduous	Sawed
7235	Bowelder	8			Deciduous	Sawed
7236	Bowelder	6			Deciduous	Sawed
7237	Bowelder	6			Deciduous	Sawed
7238	Bowelder	13			Deciduous	Sawed
7239	Bowelder	9			Deciduous	Sawed
7240	Bowelder	8	x		Deciduous	Sawed
7241	Bowelder	7			Deciduous	Sawed
7242	Bowelder	7			Deciduous	Sawed
7243	Bowelder	7			Deciduous	Sawed
7244	Bowelder	9			Deciduous	Sawed
7245	Bowelder	10			Deciduous	Sawed
7246	Bowelder	7	x		Deciduous	Sawed
7247	Bowelder	8			Deciduous	Sawed
7248	Bowelder	12			Deciduous	Sawed
7249	Bowelder	10			Deciduous	Offsite
7250	Bowelder	10			Deciduous	Offsite
7251	Bowelder	10			Deciduous	Offsite
7252	Bowelder	24		pd 20% crown loss - storm damage	Deciduous	Sawed
7253	American Elm	8	x		Deciduous	Offsite
7254	Black Willow	8	x		Deciduous	Offsite
7255	Bowelder	24	x		Deciduous	Removed
7256	Bowelder	15			Deciduous	Removed
7257	Bowelder	10	x		Deciduous	Removed
7258	American Elm	8	x		Deciduous	Removed
7259	Bowelder	12	x		Deciduous	Removed
7260	American Elm	6			Deciduous	Offsite
7261	American Elm	6			Deciduous	Offsite
7262	Aspen	9			Deciduous	Removed
7263	Bowelder	10			Deciduous	Removed
7264	Bowelder	7			Deciduous	Removed
7265	Bowelder	9			Deciduous	Removed
7266	Bowelder	9			Deciduous	Removed
7267	Bowelder	6			Deciduous	Removed
7268	American Elm	7			Deciduous	Removed
7269	Bowelder	6			Deciduous	Removed
7270	Aspen	7			Deciduous	Offsite
7271	Black Cherry	8			Deciduous	Offsite
7272	Black Cherry	8			Deciduous	Removed
7273	Bowelder	16	x		Deciduous	Offsite
7274	Aspen	8			Deciduous	Removed
7275	Aspen	8			Deciduous	Removed
7276	Black Cherry	7			Deciduous	Removed
7277	American Elm	6			Deciduous	Removed
7278	Bowelder	8			Deciduous	Removed
7279	Bowelder	8			Deciduous	Removed
7280	Bowelder	6			Deciduous	Removed
7281	American Elm	7			Deciduous	Removed
7282	Bowelder	7			Deciduous	Removed
7283	Bowelder	13			Deciduous	Removed
7284	Bowelder	14			Deciduous	Offsite
7285	Bowelder	15			Deciduous	Offsite
7286	American Elm	10			Deciduous	Removed
7287	Bowelder	9			Deciduous	Removed
7288	Bowelder	13			Deciduous	Removed
7289	Bowelder	8			Deciduous	Removed
7290	Bowelder	8			Deciduous	Removed
7291	Bowelder	22		bd 50% crown death	Deciduous	Removed
7292	Black Cherry	13			Deciduous	Removed
7293	Green & White Ash	13			Deciduous	Removed
7294	Bowelder	8			Deciduous	Removed
7295	Bowelder	9			Deciduous	Removed
7296	Bowelder	10			Deciduous	Removed
7297	Bowelder	8	x		Deciduous	Removed
7298	Bowelder	8			Deciduous	Removed
7299	Bowelder	13			Deciduous	Removed
7300	Bowelder	6			Deciduous	Removed

TREE TAG	SPECIES	DBH IN	MULTI	NOTES	TREE TYPE	OUTCOME
7301	Bowelder	9			Deciduous	Removed
7302	Bowelder	8			Deciduous	Removed
7303	Bowelder	6			Deciduous	Removed
7304	Bowelder	8		bd 70% crown death, large sore with rot on trunk	Deciduous	Removed
7305	Bowelder	9			Deciduous	Removed
7306	Bowelder	7			Deciduous	Removed
7307	American Elm	7			Deciduous	Removed
7308	American Elm	8			Deciduous	Removed
7309	Bowelder	12			Deciduous	Removed
7310	Bowelder	14	x		Deciduous	Removed
7311	Bowelder	15			Deciduous	Removed
7312	Bowelder	9			Deciduous	Removed
7313	American Elm	11			Deciduous	Removed
7314	Green & White Ash	6			Deciduous	Removed
7315	Bowelder	9			Deciduous	Removed
7316	Bowelder	8			Deciduous	Removed
7317	Bowelder	8			Deciduous	Removed
7318	Green & White Ash	10	x		Deciduous	Removed
7319	Bowelder	8			Deciduous	Removed
7320	Bowelder	8			Deciduous	Removed
7321	Bowelder	10			Deciduous	Removed
7322	Green & White Ash	9			Deciduous	Removed
7323	Bowelder	16			Deciduous	Removed
7324	Bowelder	17			Deciduous	Removed
7325	Bowelder	6			Deciduous	Removed
7326	Bowelder	24		pd 1 large limb lost, storm damage	Deciduous	Removed
7327	Green & White Ash	14			Deciduous	Removed
7328	Bowelder	12			Deciduous	Removed
7329	Bowelder	14			Deciduous	Removed
7330	Bowelder	24			Deciduous	Removed
7331	Green & White Ash	8			Deciduous	Removed
7332	Bowelder	6			Deciduous	Removed
7333	Bowelder	6			Deciduous	Removed
7334	Bowelder	20	x		Deciduous	Removed
7335	Green & White Ash	6			Deciduous	Removed
7336	Green & White Ash	10			Deciduous	Removed
7337	Green & White Ash	14			Deciduous	Removed
7338	Bowelder	13			Deciduous	Removed
7339	Bowelder	6	x		Deciduous	Removed
7340	Bowelder	10	x		Deciduous	Removed
7341	Bowelder	8	x		Deciduous	Removed
7342	Bowelder	7			Deciduous	Removed
7343	Bowelder	6			Deciduous	Removed
7344	Basewood	18	x		Deciduous	Removed
7345	Red Oak	24			Deciduous	Removed
7346	Basewood	22	x		Deciduous	Removed
7347	Green & White Ash	10			Deciduous	Removed
7348	Bur Oak	8	x		Deciduous	Sawed
7349	Bur Oak	17			Deciduous	Sawed
7350	Green & White Ash	12			Deciduous	Sawed
7351	Green & White Ash	6			Deciduous	Sawed
7352	Green & White Ash	8			Deciduous	Sawed
7353	Green & White Ash	6			Deciduous	Sawed
7354	Green & White Ash	6			Deciduous	Sawed
7355	Green & White Ash	9	x		Deciduous	Sawed
7356	Green & White Ash	13	x		Deciduous	Sawed
7357	Green & White Ash	13	x		Deciduous	Sawed
7358	Green & White Ash	8			Deciduous	Sawed
7359	Green & White Ash	7			Deciduous	Sawed
7360	Green & White Ash	14			Deciduous	Sawed
7361	Green & White Ash	7			Deciduous	Sawed
7362	Green & White Ash	8			Deciduous	Sawed
7363	Green & White Ash	13	x		Deciduous	Sawed
7364	Green & White Ash	8	x		Deciduous	Sawed
7365	Green & White Ash	12			Deciduous	Sawed
7366	Green & White Ash	9	x		Deciduous	Sawed
7367	Green & White Ash	12	x		Deciduous	Sawed
7368	Green & White Ash	16			Deciduous	Sawed
7369	Green & White Ash	8			Deciduous	Sawed
7370	Green & White Ash	6	x		Deciduous	Sawed
7371	Green & White Ash	7			Deciduous	Sawed
7372	Green & White Ash	6			Deciduous	Sawed
7373	Green & White Ash	12	x		Deciduous	Sawed
7374	Green & White Ash	7			Deciduous	Sawed
7375	Green & White Ash	8	x		Deciduous	Sawed
7376	Green & White Ash	8			Deciduous	Sawed
7377	Green & White Ash	8			Deciduous	Sawed
7378	Green & White Ash	6	x		Deciduous	Sawed
7379	Green & White Ash	12			Deciduous	Sawed
7380	Green & White Ash	10			Deciduous	Sawed
7381	Green & White Ash	9	x		Deciduous	Sawed
7382	Green & White Ash	6			Deciduous	Sawed
7383	Green & White Ash	11			Deciduous	Sawed
7384	Green & White Ash	8			Deciduous	Sawed
7385	Green & White Ash	12	x		Deciduous	Sawed
7386	Green & White Ash	10			Deciduous	Sawed
7387	Green & White Ash	16			Deciduous	Sawed
7388	Green & White Ash	15			Deciduous	Sawed
7389	Green & White Ash	6	x		Deciduous	Sawed
7390	Green & White Ash	9			Deciduous	Sawed
7391	Green & White Ash	8			Deciduous	Sawed
7392	Green & White Ash	6	x		Deciduous	Sawed
7393	Green & White Ash	10			Deciduous	Sawed
7394	Green & White Ash	7			Deciduous	Sawed
7395	Green & White Ash	11	x		Deciduous	Sawed
7396	Green & White Ash	10			Deciduous	Sawed
7397	Green & White Ash	10	x		Deciduous	Sawed
7398	Green & White Ash	6			Deciduous	Sawed
7399	Silver Maple	14	x		Deciduous	Sawed
7400	American Elm	12			Deciduous	Sawed

TREE TAG	SPECIES	DBH IN	MULTI	NOTES	TREE TYPE	OUTCOME
7401	Green & White Ash	6			Deciduous	Sawed
7402	Green & White Ash	6			Deciduous	Sawed
7403	American Elm	6			Deciduous	Sawed
7404	American Elm	11			Deciduous	Sawed
7405	Green & White Ash	6			Deciduous	Sawed
7406	Green & White Ash	6			Deciduous	Sawed
7407	American Elm	7			Deciduous	Sawed
7408	American Elm	8			Deciduous	Sawed
7409	American Elm	9			Deciduous	Sawed
7410	Black Willow	20	x		Deciduous	Sawed
7411	American Elm	12			Deciduous	Sawed
7412	Green & White Ash	20			Deciduous	Sawed
7413	American Elm	14	x		Deciduous	Sawed
7414	Green & White Ash	6			Deciduous	Sawed
7415	Silver Maple	19	x		Deciduous	Sawed
7416	Green & White Ash	9	x		Deciduous	Sawed
7417	Green & White Ash	6			Deciduous	Sawed
7418	Black Willow	14	x		Deciduous	Sawed
7419	Green & White Ash	14			Deciduous	Sawed
7420	Green & White Ash	6			Deciduous	Sawed
7421	Green & White Ash	6			Deciduous	Sawed
7422	Green & White Ash	14			Deciduous	Sawed
7423	Green & White Ash	8	x		Deciduous	Sawed
7424	Green & White Ash	12			Deciduous	Sawed
7425	Green & White Ash	6			Deciduous	Sawed
7426	Green & White Ash	9			Deciduous	Sawed
7427	Green & White Ash	11	x		Deciduous	Sawed
7428	Green & White Ash	7			Deciduous	Sawed
7429	Green & White Ash	10			Deciduous	Sawed
7430	Green & White Ash	12			Deciduous	Sawed
7431	Green & White Ash	6			Deciduous	Sawed

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PRELIMINARY PLANT SCHEDULE (BY DEVELOPER)

COMMON / BOTANICAL NAME	SIZE	ROOT	SPACING O.C.	MATURE SIZE
DECIDUOUS TREES - 84				
ACCOLADE ELM / ULMUS X 'MORTON'	2' 0" CAL	B&B	AS SHOWN	H 70' W 40' -50'
BOULEVARD AMERICAN LINDEN / TILIA AMERICANA 'BOULEVARD'	2' 0" CAL	B&B	AS SHOWN	H 50'-60' W 20'-25'
ESPRESSO KENTUCKY COFFEE TREE / GYMNOCLADUS DIOICUS 'ESPRESSO-JFS'	2' 0" CAL	B&B	AS SHOWN	H 40'-50' W 35'-40'
PRINCETON AMERICAN ELM / ULMUS AMERICANA 'PRINCETON'	2' 0" CAL	B&B	AS SHOWN	H 50'-70' W 40'-50'
RED MAPLE / ACER RUBRUM	2' 0" CAL	B&B	AS SHOWN	H 40'-70' W 20'-50'
RED OAK / QUERCUS RUBRA	2' 0" CAL	B&B	AS SHOWN	H 50'-70' W 40'-50'
REDMOND LINDEN / TILIA AMERICANA 'REDMOND'	2' 0" CAL	B&B	AS SHOWN	H 40'-60' W 30'-40'
SIENNA GLEN MAPLE / ACER X FREEMANI 'SIENNA'	2' 0" CAL	B&B	AS SHOWN	H 40'-50' W 35'-40'
SKYLINE 'HONEY LOCUST' / GLEDITSIA TRUCANTHOS INERMIS 'SKYLINE'	2' 0" CAL	B&B	AS SHOWN	H 40'-50' W 30'-35'
WHITE OAK / QUERCUS ALBA	2' 0" CAL	B&B	AS SHOWN	H 80'-100' W 50'-90'
EVERGREEN TREES - 20				
CONCOLOR FIR / ABIES CONCOLOR	8' HT.	B&B	AS SHOWN	H 30'-50' W 25'-30'
NORWAY SPRUCE / PICEA ABIES	8' HT.	B&B	AS SHOWN	H 60'-80' W 25'-30'
WHITE PINE / PINUS STROBUS	8' HT.	B&B	AS SHOWN	H 50'-80' W 30'-40'
ORNAMENTAL TREES - 6				
RAIRIFIRE CRANAPPEL / MALLUS X 'PRAIRIFIRE'	1.5" CAL	B&B	AS SHOWN	H 15'-20' W 20'
QUAKING ASPEN / POPULUS TREMULOIDES	1.5" CAL	B&B	AS SHOWN	H 40'-60' W 20'-30'
THORNLESS COCKSPUR HAWTHORN / CRATAEGUS CRUS-GALLI INERMIS	8' HT.-CLUMP	B&B	AS SHOWN	H 15'-20' W 15'-20'

PRELIMINARY PLANT SCHEDULE (BY HOME BUILDER)

COMMON / BOTANICAL NAME	SIZE	ROOT	SPACING O.C.	MATURE SIZE
DECIDUOUS YARD TREES - 80				
ACCOLADE ELM / ULMUS X 'MORTON'	2' 0" CAL	B&B	AS SHOWN	H 70' W 40' -50'
BOULEVARD AMERICAN LINDEN / TILIA AMERICANA 'BOULEVARD'	2' 0" CAL	B&B	AS SHOWN	H 50'-60' W 20'-25'
ESPRESSO KENTUCKY COFFEE TREE / GYMNOCLADUS DIOICUS 'ESPRESSO-JFS'	2' 0" CAL	B&B	AS SHOWN	H 40'-50' W 35'-40'
PRINCETON AMERICAN ELM / ULMUS AMERICANA 'PRINCETON'	2' 0" CAL	B&B	AS SHOWN	H 50'-70' W 40'-50'
RED MAPLE / ACER RUBRUM	2' 0" CAL	B&B	AS SHOWN	H 40'-70' W 20'-50'
RED OAK / QUERCUS RUBRA	2' 0" CAL	B&B	AS SHOWN	H 50'-70' W 40'-50'
REDMOND LINDEN / TILIA AMERICANA 'REDMOND'	2' 0" CAL	B&B	AS SHOWN	H 40'-60' W 30'-40'
SIENNA GLEN MAPLE / ACER X FREEMANI 'SIENNA'	2' 0" CAL	B&B	AS SHOWN	H 40'-50' W 35'-40'
SKYLINE 'HONEY LOCUST' / GLEDITSIA TRUCANTHOS INERMIS 'SKYLINE'	2' 0" CAL	B&B	AS SHOWN	H 40'-50' W 30'-35'
WHITE OAK / QUERCUS ALBA	2' 0" CAL	B&B	AS SHOWN	H 80'-100' W 50'-90'

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL = CALIPER HT. = HEIGHT MIN.=MINIMUM
 O.C. = ON CENTER SP. = SPREAD QTY. = QUANTITY CONT. = CONTAINER
 NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

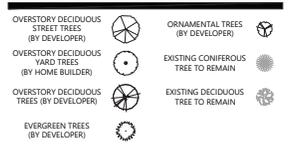
LANDSCAPE REQUIREMENTS & PROVISIONS

LANDSCAPING DESIGN REQUIREMENTS - OSTEGO, MINNESOTA			
SITE DESCRIPTION			
ZONING DISTRICT: R-5 CLP			
TOTAL GROSS ACRES: 38.88 AC			
SINGLE FAMILY REQUIREMENTS	REQUIRED	PROVIDED	NOTES
EACH LOT SHALL HAVE A MINIMUM OF 2 NOV- ORNAMENTAL TREES PER LOT.	80 LOTS x 2 TREES = 160 TREES	160 OVERSTORY TREES 80 OVERSTORY YARD TREES (BY HOME BUILDER) 80 OVERSTORY STREET TREES (BY DEVELOPER)	ONE OVERSTORY TREE TO BE PLANTED IN THE REAR YARD BY HOME BUILDER. THE SECOND OVERSTORY TREE TO BE PLANTED IN THE BOULEVARD IN FRONT OF EACH LOT BY DEVELOPER.
SINGLE FAMILY BUFFER SCREENING (DOUBLE FRONTAGE)	No Quantity Given	30 TREES 4 OVERSTORY DECIDUOUS TREES (BY DEVELOPER) 20 EVERGREEN TREES (BY DEVELOPER) 6 ORNAMENTAL TREES (BY DEVELOPER)	TREES TO BE WITHIN LOT 18, BLOCK 1 & LOT 1, BLOCK 4 MONROE MALLISTER AVE.

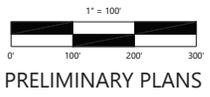
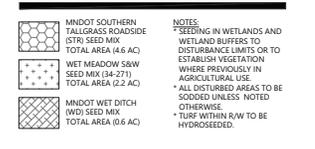
LANDSCAPE NOTES

- STREET TREE LOCATIONS AND SPACING ARE SUBJECT TO CHANGE BASED ON CONSTRUCTED DRIVEWAY AND UTILITY LOCATIONS.
- TREES SHALL BE PLANTED IN FRONT OF SINGLE FAMILY LOTS 28' FROM BACK OF CURB IN A LOCATION THAT DOES NOT INTERFERE WITH CURBSTOPS OR INDIVIDUAL SEWER & WATER CONNECTIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- DECIDUOUS TREES SHOULD BE LOCATED A MINIMUM OF 5' OFF ANY UTILITY PIPE AND CONIFEROUS TREES SHOULD BE LOCATED A MINIMUM OF 15' OFF ANY UTILITY PIPE.
- NO TREE SHOULD BE LOCATED WITHIN 10' OF A HYDRANT OR 15' FROM A STREETLIGHT.
- NO TREES SHOULD BE LOCATED WITHIN A STORM POND HWL.
- NO TREES SHOULD BE LOCATED WITHIN STORM POND ACCESS ROUTE.
- NO DECIDUOUS TREE WITH 5' OF A SIDEWALK OR TRAIL AND NO CONIFEROUS TREES WITHIN 20' OF A PROPOSED SIDEWALK OR TRAIL.

PLANT LEGEND



SEED LEGEND



DESIGNED: TDD	INITIAL ISSUE: 02/02/26
CHECKED: CHF	REVISIONS:
DRAWN: DWW	▲
HORIZONTAL SCALE: 100.000073	▲
VERTICAL SCALE: 20' OR 10'	▲

PREPARED FOR:
SUMMERGATE COMPANIES LLC
 17305 CEDAR AVENUE, SUITE 200
 LAKEVILLE, MN 55044

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

CORY L MEYER
 DATE: 02/02/26 LICENSE NO.: 26971

MEADOW HAVEN
 OSTEGO, MN

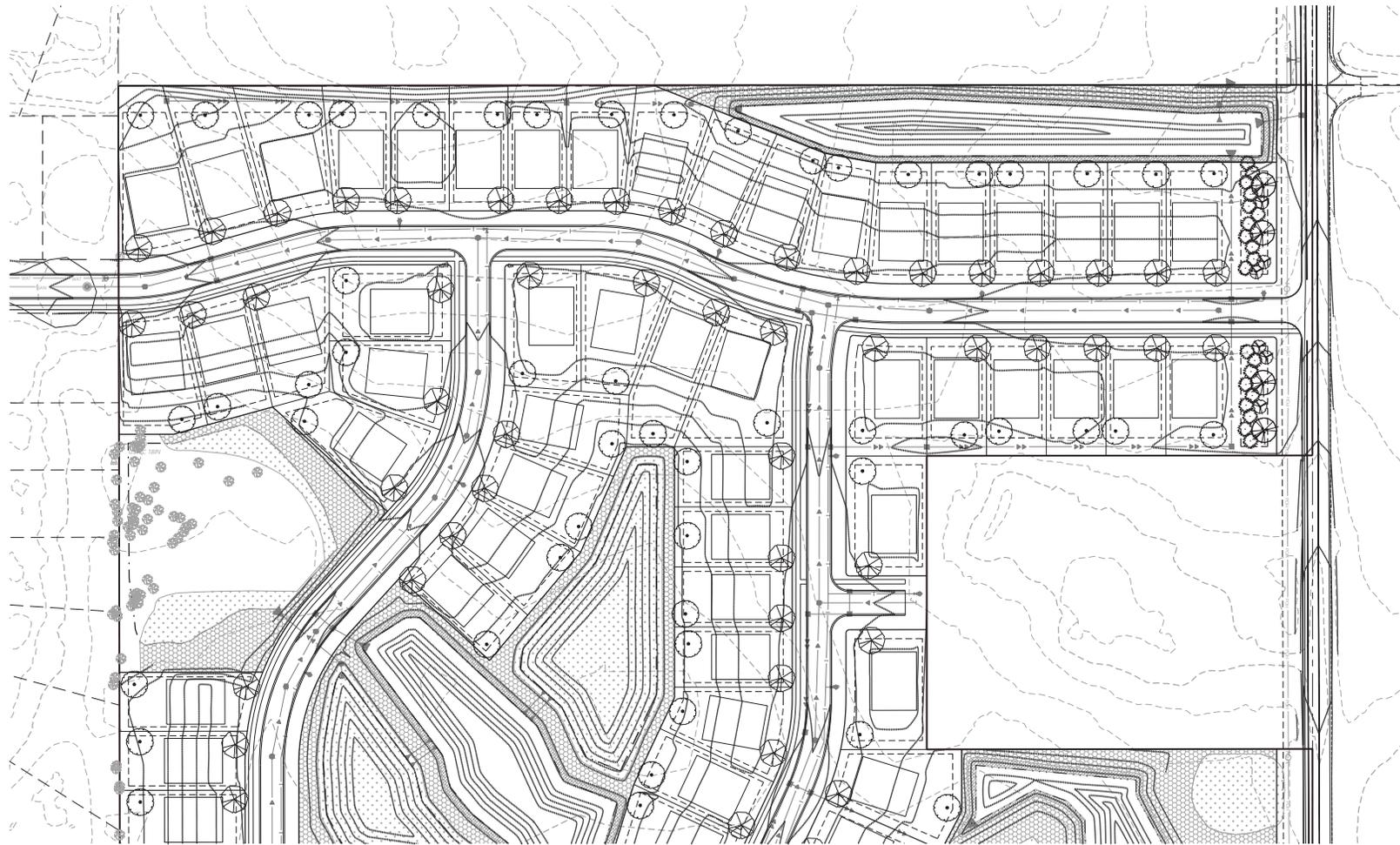
Westwood
 Professional Services, Inc.
 Phone: (952) 937-5150
 Fax: (952) 937-5150
 12702 Whitewater Drive, Suite F300
 Minneapolis, MN 55438
 westwoodps.com

SHEET NUMBER:
21 OF **24**

OVERALL PRELIMINARY LANDSCAPE PLAN

PROJECT NUMBER: 00525400 DATE: 02/02/26

MEADOW HAVEN



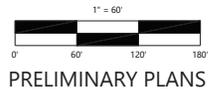
PLANT LEGEND

- OVERSTORY DECIDUOUS STREET TREES (BY DEVELOPER)
- OVERSTORY DECIDUOUS YARD TREES (BY HOME BUILDER)
- OVERSTORY DECIDUOUS TREES (BY DEVELOPER)
- EVERGREEN TREES (BY DEVELOPER)
- ORNAMENTAL TREES (BY DEVELOPER)
- EXISTING CONIFEROUS TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO REMAIN

- MINIDOT SOUTHERN TALLGRASS ROADSIDE (STR) SEED MIX TOTAL AREA (4.6 AC)
- WET MEADOW S&W SEED MIX (34-27) TOTAL AREA (2.2 AC)
- MINIDOT WET DITCH (WD) SEED MIX TOTAL AREA (0.6 AC)

SEED LEGEND

NOTES:
*SEEDING IN WETLANDS AND WETLAND BUFFERS TO DISTURBANCE LIMITS OR TO ESTABLISH VEGETATION WHERE PREVIOUSLY IN AGRICULTURAL USE.
*ALL DISTURBED AREAS TO BE SOODED UNLESS NOTED OTHERWISE.
*TURF WITHIN R/W TO BE HYDROSEDED.



DESIGNED:	TDD
CHECKED:	CHF
DRAWN:	DHW
HORIZONTAL SCALE:	60'
VERTICAL SCALE:	12" OR 6"

INITIAL ISSUE:	02/02/26
REVISIONS:	

PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

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CORY L. MEYER
DATE: 02/02/26 LICENSE NO.: 26971

MEADOW HAVEN
OTSEGO, MN

Westwood
Phone (952) 937-5150 12705 Whitewater Drive, Suite #300
Free (888) 937-5150 Minneapolis, MN, 55434
westwood@ps.com
Westwood Professional Services, Inc.

PRELIMINARY
LANDSCAPE PLAN

SHEET NUMBER:
22 OF **24**
PROJECT NUMBER: 0052504.00 DATE: 02/02/26



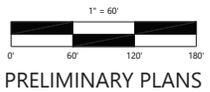
PLANT LEGEND

- OVERSTORY DECIDUOUS STREET TREES (BY DEVELOPER)
- OVERSTORY DECIDUOUS YARD TREES (BY HOME BUILDER)
- OVERSTORY DECIDUOUS TREES (BY DEVELOPER)
- EVERGREEN TREES (BY DEVELOPER)
- ORNAMENTAL TREES (BY DEVELOPER)
- EXISTING CONIFEROUS TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO REMAIN

SEED LEGEND

- MINDOT SOUTHERN TALLGRASS ROADSIDE (STR) SEED MIX TOTAL AREA (4.6 AC)
- WET MEADOW S&W SEED MIX (34-27) TOTAL AREA (2.2 AC)
- MINDOT WET DITCH (WD) SEED MIX TOTAL AREA (0.6 AC)

NOTES:
*SEEDING IN WETLANDS AND WETLAND BUFFERS TO DISTURBANCE LIMITS OR TO ESTABLISH VEGETATION WHERE PREVIOUSLY IN AGRICULTURAL USE.
*ALL DISTURBED AREAS TO BE SOODED UNLESS NOTED OTHERWISE.
*TURF WITHIN R/W TO BE HYDROSEEDED.



DESIGNED:	TDD	INITIAL ISSUE:	02/02/26
CHECKED:	CHF	REVISIONS:	
DRAWN:	DW		
HORIZONTAL SCALE:	60'		
VERTICAL SCALE:	12' OR 6'		

PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
CORY L. MEYER
DATE: 02/02/26 LICENSE NO.: 26971

MEADOW HAVEN
OTSEGO, MN

Westwood
Phone (952) 937-5150 12705 Whitewater Drive, Suite #300
Fax (952) 937-5150 Minneapolis, MN 55434
westwoodps.com
Westwood Professional Services, Inc.

PRELIMINARY
LANDSCAPE PLAN

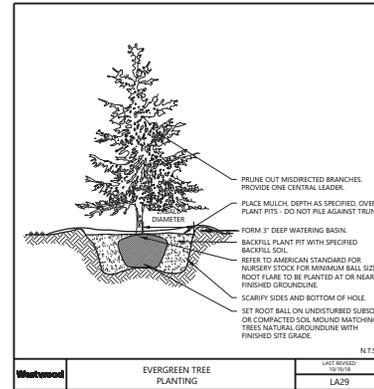
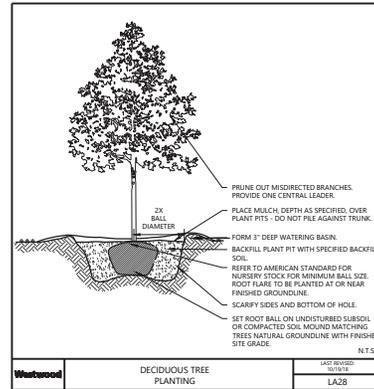
PROJECT NUMBER: 0052504.00

SHEET NUMBER:
23 OF **24**
DATE: 02/02/26

PLANTING NOTES

- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE ONE YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAVING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MNL4 & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY, TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MIN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SLURRY DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DILLETICIOUS MATERIAL AND COLORED FIBER OR APPROVED EQUAL. ROCK MULCH TO BE BUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYRAX, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGES TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- ALL DISTURBED AREAS TO BE SOODED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SOODED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOO TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MIN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOO/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- RAIN GARDEN NOTE: PROVIDE AND INSTALL EROSION CONTROL BLANKET AT RAIN GARDEN AREA SIDE SLOPES AFTER ALL PLANTING HAVE BEEN INSTALLED. BLANKET TO BE ONE SEASON GEOTEXE MIN/DOT CATEGORY 2 (STRAW IS WOOD FIBER 10, OR APPROVED EQUAL. BLANKET TO BE OVERLAPPED BY 4" AND ANCHORED BY SOO STAPLES. PLACE BLANKET PERPENDICULAR TO THE SLOPE. TRENCH IN EDGES OF BLANKET AREA TO PREVENT UNDER MINING. PROVIDE SILT FENCE AT TOP OF SLOPE AS NEEDED. SHREDDED HARDWOOD MULCH TO MATCH OTHER PROJECT PLANTING MULCH. PLACE 4" DEPTH OF MULCH AT ALL PLANTING AND EROSION CONTROL BLANKET AREA (NO FILTER FABRIC). SEE RAIN GARDEN DETAIL FOR FURTHER INFORMATION. RAIN GARDEN TO PROVIDE PROPER INFILTRATION AND DRAINAGE REQUIREMENTS PER ENGINEERS APPROVAL.

PLANTING DETAILS



PRELIMINARY PLANS

DESIGNED:	TDO
CHECKED:	CHF
DRAWN:	DW
HORIZONTAL SCALE:	60'
VERTICAL SCALE:	12' OR 6'

INITIAL ISSUE:	02/02/26
REVISIONS:	
▲	
▲	
▲	

PREPARED FOR:
SUMMERGATE COMPANIES LLC
17305 CEDAR AVENUE, SUITE 200
LAKEVILLE, MN 55044

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
CORY L MEYER
DATE: 02/02/26, LICENSE NO. 26971

MEADOW HAVEN
OTSEGO, MN

Westwood

Phone (952) 937-5150 12705 Whitewater Drive, Suite #300
Fax Free (888) 937-5150 Minneapolis, MN 55434
westwoodsg.com

Westwood Professional Services, Inc.

PRELIMINARY
**LANDSCAPE NOTES &
DETAILS**

PROJECT NUMBER: 0052504.00

SHEET NUMBER:

24 OF **24**

DATE: 02/02/26

MEMORANDUM

TO: Honorable Mayor and City Council

CC: Adam Flaherty, City Administrator
Audra Etzel, City Clerk
Daniel Licht, City Planner
Dave Kendall, City Attorney
Bryan Tucker, Summergate Companies LLC
Thomas Desutter, Westwood Professional Services

FROM: Ronald J Wagner, P.E., City Engineer

DATE: February 16, 2026

RE: Meadow Haven

We have reviewed the following information provided by Westwood on behalf of Thomas Desutter regarding Meadow Haven.

Preliminary Plat for Meadow Haven dated February 2, 2026 by Westwood
Storm Report for Meadow Haven , dated February 2, 2026 by Westwood

The submittal is to be considered for preliminary acceptance. We would offer the following comments:

General Requirements

1. Provide Approval Signature Line for Ronald J Wagner, P.E. , City Engineer.

Preliminary Plat

2. Locations and results of soil boring, percolation test, etc.
3. Provide Geotechnical report for the area to be plated
4. Statement certifying the environmental conditions of the site including the presence of any hazardous substances as defined in Minnesota Statutes 115B.02 and subd 8.

Proposed Design Features

5. Provide curve data for streets.
6. Provide gradients and profile of proposed sewer lines and watermain.
7. Rework grading for side yard drainage multiple areas look to be areas that will hold water from proposed contours.
8. Provide drain tile for rear yards per standard plate no. 413
9. Provide drain tile for all catch basins at road low points.
10. Show and provide new Gate Valve at connection point at 66th street.

11. Remove Salvage hydrant from connection point at 66th St. Give back to city no new hydrant is needed.
12. Add two Gate Valves to the intersection of STREET 3 and STREET4.
13. Add CLEAN OUTS at the south end of STREET 2, STREET 3 and STREET 4.
14. Extend watermain to west side of McAllister Ave on STREET 1. Make connection within McAllister Ave. north to Water Tower #4. (WAC Credits)
15. Provide cross sections for McAllister Ave. improvements.
16. Rework ditch bottom for drainage for existing culvert at west side of 70th St and Macallister Ave.
17. Provide Curb and Gutter to east side of McAllister Ave. from 70th St to 67th St (WAC Credit)
18. Eliminate 15” metal culvert at 67th St and McAllister Ave. and replace with 30” RCP and extend to fit new ditch bottom as per the Otsego Creek Watershed Study. (Stormwater Credit)
19. Remove 15” metal culvert at STA-18+10 McAllister Ave. replace with 15” RCP and extend to fit ditch bottom.
20. Provide bike trail on west side of McAllister Ave. from North property line of the development to the south property line along with cross sections.
21. Provide ADA ramps at intersections of bike trail.
22. Add FORCEMAIN (size to be determined from furthest NE MH to NE Quadrant of intersection of 67th ST and McAllister Ave. (SAC Credit)
23. The Otsego Creek Watershed Study was sent to you for review. Included in the report was a need for a 42” storm pipe on the west side of the property connecting the wetlands within the development to the SW corner of the property. (Stormwater Credit)

Details

24. Include Standard Plate No. 500a

Other Items

25. Provide Outlot deed to City for future Well Lot 9 & 10 Block 7, with 20’ D&U easement for RAW Watermain along south plat line. (WAC Credit)

Summary and / or recommendations

We recommend approval with requirements to address the items above.

OTSEGO PLANNING COMMISSION MEETING
OTSEGO PRAIRIE CENTER
March 2, 2026
7:00 PM

Call to Order:

Chair Alan Offerman called the meeting to order at 7:00 p.m.

Roll Call: Chair Alan Offerman, Vice Chair Aaron Stritesky, Commissioners, Charles Foster, Tracy Kincanon, Jill Metzger, Laurie Jones, and Vern Heidner.

Also Present: Councilmember Dunlap, Councilmember Lund (*) and Mayor Stockamp (*)

Staff: City Planner Daniel Licht and Deputy Clerk Katie Kalland

(*) attending via zoom

1. Announcements

No announcements.

2. Consider the Following Minutes

2.1 February 17, 2026, Planning Commission Meeting

Commissioner Metzger motioned to approve February 17, 2026, minutes as written. Commissioner seconded Kincanon. All in favor. Motion carried 7-0.

3. Annual Business: Election of the 2026 Planning Commission Chair and Vice Chair

Commissioner Heidner nominated Commissioner Offerman as Chair and Commissioner Stritesky as Vice Chair. Seconded by Commissioner Kincanon. All in favor. Motion carried 7-0.

4. Public Hearing Items

4.1 Meadow Haven Preliminary Plat

City Planner Licht gave the planning report.

Bryan Tucker, Summergate Development, 17305 Cedar Avenue #200, Lakeville, was present and agreed with the planning report. Mr. Tucker is hopeful of starting this spring.

Chair Offerman opened the public hearing at 7:13 p.m.

Randy Barthel, 6597 Macallister Avenue, voiced concern with pollution run-off, drainage issues, and loss of trees.

Joe Barthel, 6596 Macallister Avenue, asked when the trail will be completed. Mr. Barthel asked about the upcoming water treatment project, and screening of the development from view of surrounding rural homes.

Scott Evans, 12432 65th Street NE, asked about the trees on the west side of development and voiced concern for drainage issues.

Chair Offerman closed the public hearing at 7:19 p.m.

City Planner Licht stated the City Engineer will review the drainage concerns to comply with City standards.

Mr. Licht stated the developer is interested in keeping the trees in the area and a trail is intended to be adjacent to the project.

Mr. Licht explained the planned improvement of McAllister Avenue and stated that the City would monitor the need for increased maintenance of the remaining gravel portion and timing for future improvements.

Vice Chair Stritesky motioned to recommend approval of a Zoning Map amendment rezoning the subject property to R-5 District; a Planned Unit Development-Conditional Use Permit; and preliminary plat of Meadow Haven, subject to the 15 conditions listed on the planning report dated February 23, 2026. Seconded by Commissioner Jones. All in favor. Motion carried 7-0.

5. Updates

5.1 Updates on City Council actions

Councilmember Dunlap updated the Planning Commission on recent City Council actions.

5.2 Updates on future Planning Commission Items

City Planner Licht updated the Planning Commission on upcoming planning items.

6. Adjourn

Vice Chair Stritesky motioned to adjourn. Seconded by Commissioner Foster. All in favor. Motion carried 7-0.

Adjourned at 7:32 p.m.

Respectfully submitted by Katie Kalland, Deputy Clerk

CITY OF OTSEGO
COUNTY OF WRIGHT
STATE OF MINNESOTA

ORDINANCE NO: 2026-03

ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF OTSEGO TO PROVIDE FOR A
CHANGE IN ZONING CLASSIFICATION FOR LAND INCLUDED WITHIN THE PRELIMINARY PLAT OF
MEADOW HAVEN.

THE OTSEGO CITY COUNCIL ORDAINS:

Section 1. The official Zoning Map of the Otsego Zoning Ordinance is hereby amended to change the zoning classification of the property legally as described as:

The Southwest Quarter of the Northeast Quarter of Section 31, Township 121, Range 23, EXCEPT the North 327.42 feet of the South 898.11 feet of the East 430.63 feet of the Southwest Quarter of the Northeast Quarter of Section 31, Township 121, Range 23, Wright County, Minnesota.

Abstract Property.

Section 2. The property is hereby rezoned from an A-1, Agricultural Rural Service District designation to R-5, Residential Single and Two Family District.

Section 3. The Zoning Map of the City of Otsego shall not be republished to show the aforesaid rezoning, but the Zoning Administrator shall appropriately mark the Zoning Map on file at City Hall for the purpose of indicating the rezoning hereinabove provided for in this Ordinance, and all of the notations, references and other information shown thereon are hereby incorporated by reference and made part of this Ordinance.

Section 4. This Ordinance shall become effective immediately upon its passage and publication according to Law.

[The remainder page is intentionally blank signatures follow]

ADOPTED by the Otsego City Council this 9th day of March, 2026.

MOTION BY:
SECONDED BY:
IN FAVOR:
OPPOSED:

CITY OF OTSEGO

Jessica L. Stockamp, Mayor

ATTEST:

Audra Etzel, City Clerk

**CITY OF OTSEGO
COUNTY OF WRIGHT
STATE OF MINNESOTA**

RESOLUTION NO: 2026-22

**ADOPTING FINDINGS OF FACT AND APPROVING A CONDITIONAL USE PERMIT AND PRELIMINARY PLAT FOR
MEADOW HAVEN.**

WHEREAS, Summergate Development (“Developer”) has submitted application for a Zoning Map amendment, Planned Unit Development -Conditional Use Permit, and Preliminary Plat for a subdivision to be known as Meadow Haven; and

WHEREAS, the legal description of the subject property (“Property”) is attached as Exhibit A; and

WHEREAS, the Property is within the West Sewer District and guided for future Low Density Residential land uses by the 2023 Comprehensive Plan; and

WHEREAS, the subject property is zoned A-1, Agriculture Rural Service District; and

WHEREAS, the Developer is requesting amendment of the Zoning Map to designate the property as R-5, Residential, Single and Two Family District; and

WHEREAS, an application for Zoning Map amendments is processed in accordance with the provisions of Section 11-3-2 of the Zoning Ordinance; and

WHEREAS, the Developer is requesting a Planned Unit Development – Conditional Use Permit related to lot requirements; and

WHEREAS, an application for Planned Unit Development-Conditional Use Permit is processed in accordance with the provisions of Section 11-3-2 of the Zoning Ordinance; and

WHEREAS, the City Council must take into consideration the possible effects of the Zoning Ordinance amendment and Planned Unit Development – Conditional Use Permit with their judgment based upon (but not limited to) the criteria outlined in Section 11-3-2.F and 11-4-2.F of the Zoning Ordinance, respectively:

1. The proposed action's consistency with the specific policies and provisions of the Otsego Comprehensive Plan.

Finding: The Future Land Use Plan of the 2023 Comprehensive Plan guides the subject property for low density residential uses, which is a single family neighborhood with a net density of 3.0 dwelling units per acre or less. The subject property is 36.88 acres in area with a net area less wetlands and wetland buffers of 30.88 acres. The net density of the proposed preliminary plat is 2.32 dwelling units per acre. The proposed preliminary plat provides for a range of single family lot widths to encourage diversity in single family housing within the subdivision and overall housing supply within the City. The proposed development is consistent with the policies of the 2023 Comprehensive Plan.

2. The proposed use's compatibility with present and future land uses of the area.

Finding: The subject property is a single parcel that was subdivided at one time from the exception parcel abutting McAllister Avenue, which is not included as part of the proposed plat. The subject property is surrounded by the existing and planned uses shown in the table below. The proposed preliminary plat will be consistent with the character of the area and compatible with existing and planned surrounding land uses.

Direction	Land Use Plan	Zoning Map	Existing Use
North	LD Residential	A-1 District	Cultivated field
East	Industrial	A-1 District	Cultivated field
South	LD Residential	A-1 District	Rural single family
West	LD Residential	R-4 District	Otsego Preserve

3. The proposed use's conformity with all performance standards contained within the Zoning Ordinance and other provisions of the City Code.

Finding: The proposed preliminary plat will comply with the provisions of the Zoning Ordinance, Subdivision Ordinance, and Engineering Manual.

4. Traffic generation of the proposed use in relation to capabilities of streets serving the property.

Finding: The subject property is to accessed from 70th Street (CSAH 38) via McAllister Avenue, which is to be improved to an interim collector street standard as part of the development. Secondary access will occur at 66th Street to be extended from Otsego Preserve and future street connections to the abutting properties to the north and south. The streets accessing the proposed preliminary plat have adequate capacity to accommodate traffic generated by the development.

5. The proposed use can be accommodated by existing public services and facilities and will not overburden the City's service capacity.

Finding: The proposed preliminary plat is within the West Sewer District and the City has in-place utilities and services planned for as part of the 2023 Comprehensive Plan. The proposed development will not overburden the City's service capacity.

WHEREAS, the Developer is requesting approval of a preliminary plat for subdivision of 80 single family lots, five outlots, and public right-of-way; and

WHEREAS, an application for preliminary plat is processed in accordance with the provisions of Section 10-5-2 of the Subdivision Ordinance; and

WHEREAS, the Planning Report dated 23 February 2026 prepared by the City Planner, The Planning Company LLC, is incorporated herein.

WHEREAS, the Planning Commission conducted a public hearing at their regular meeting on 2 March 2026 to consider the application, preceded by published and mailed notice; based upon review of the application and evidence received, the public hearing was closed and the Planning Commission recommended by a 7-0 vote that the City Council approve the request based on the aforementioned findings.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF OTSEGO, MINNESOTA THAT the findings of fact outlined herein are adopted and the applications for Planned Unit Development – Conditional Use Permit and preliminary plat are approved based upon the foregoing information and applicable ordinances, subject to the following conditions:

1. Approval of the preliminary plat shall not guarantee access to sanitary sewer service. The City shall only allocate sanitary sewer capacity to approved final plats with signed development contracts to assure the City of timely development.
2. All right-of-way dedication, street design and construction plans, street lighting, sidewalks, trails, and street names shall be subject to review and approval of the City Engineer.
3. McAllister Avenue:
 - a. The developer shall dedicate 40 feet of right-of-way for the west half of McAllister Avenue abutting the preliminary plat.
 - b. The developer shall at their cost improve McAllister Avenue from the south line of the preliminary plat to 70th Street (CSAH 38) to a minor collector section as determined by the City Engineer.
 - c. The developer shall receive utility fee credits as determined by the City for the portion of the east half of McAllister Avenue abutting the City owned Watertower #4 and South Central Water Treatment Plant property.
 - d. The improvement of McAllister Avenue abutting the subject property and PID 118-500-311301 shall include a 10-foot bituminous trail.
4. The City Council shall consider a resolution approving vacation of 67th Street along the north line of the preliminary plat at the time of final plat application.
5. All lots within the preliminary plat shall comply with the following setbacks:

Local ROW	Interior Side	Interior Rear	McAllister Avenue	Wetland Buffer
25ft. house 30ft. garage	7ft.	20ft.	65ft.	20ft.

6. The preliminary plat shall be revised to extend either or both of Street 2 and Street 3 through Block 1 to provide for future street connection(s) to the abutting property to the north.
7. All grading, drainage, wetland impacts, and erosion control issues shall be subject to review and approval of the City Engineer.
8. The developer shall pay a Stormwater Impact Fee for Otsego Creek at the time of final plat approval.
9. Trunk Water System:
 - a. The preliminary plat shall be revised to provide for acquisition of land by the City for a future water utility well.
 - b. The utility plan for the preliminary plat shall incorporate a raw water main extension to between the future water utility well and McAllister Avenue.

- c. The developer will receive financial credit for the value of the property acquired and cost of construction related to the well and raw water main.
- 10. All utility plans shall be subject to review and approval of the City Engineer.
- 11. All drainage and utility easements shall be subject to review and approval of the City Engineer.
- 12. Outlot A, B, C, and D shall be deeded to the City for stormwater management purposes.
- 13. Outlot E shall be revised as two outlots encompassing potential future lots with dedication of right-of-way as illustrated on the sketch plan with the current plat.
- 14. Park dedication requirements shall be satisfied as payment of a cash fee in lieu of land dedication at the time of final plat approval.
- 15. The sketch plan for PID 118-500-311301 shall be revised to terminate as a cul-de-sac and not intersect McAllister Avenue.

(Remainder of page blank signatures follow)

ADOPTED by the Otsego City Council this 9th day of March, 2026.

- MOTION BY:**
- SECONDED BY:**
- IN FAVOR:**
- OPPOSED:**

CITY OF OTSEGO

Jessica L. Stockamp, Mayor

ATTEST:

Audra Etzel, City Clerk

EXHIBIT A
LEGAL DESCRIPTION

The Southwest Quarter of the Northeast Quarter of Section 31, Township 121, Range 23, EXCEPT the North 327.42 feet of the South 898.11 feet of the East 430.63 feet of the Southwest Quarter of the Northeast Quarter of Section 31, Township 121, Range 23, Wright County, Minnesota.

Abstract Property.