



Request for City Council Action

DEPARTMENT INFORMATION

| | | |
|------------------------|--|--|
| ORIGINATING DEPARTMENT | REQUESTOR: | MEETING DATE: |
| Planning | City Planner Licht | 26 January 2026 |
| PRESENTER(S) | REVIEWED BY: | ITEM #: |
| City Planner Licht | City Administrator/Finance Director Flaherty City Engineer Wagner | 4.1 – Great River Centre of Otsego 8 th Addition |

STRATEGIC VISION

| | |
|----------|--|
| MEETS: | THE CITY OF OTSEGO: |
| | Is a strong organization that is committed to leading the community through innovative communication. |
| X | Has proactively expanded infrastructure to responsibly provide core services. |
| | Is committed to delivery of quality emergency service responsive to community needs and expectations in a cost-effective manner. |
| X | Is a social community with diverse housing, service options, and employment opportunities. |
| | Is a distinctive, connected community known for its beauty and natural surroundings. |

AGENDA ITEM DETAILS

| | |
|--|---|
| RECOMMENDATION: | |
| City staff recommends the City Council approve a preliminary plat. | |
| ARE YOU SEEKING APPROVAL OF A CONTRACT? | IS A PUBLIC HEARING REQUIRED? |
| No | Yes, was held by Planning Commission on 20 January 2026 |
| BACKGROUND/JUSTIFICATION: | |
| <p>Foss Swim School has submitted application to plat Outlot A, Great River Centre of Otsego Seventh Addition as one lot for commercial development. The proposed lot is subject to preliminary plat review as it was not previously identified as a buildable lot at the time the current outlot was established. Previously dedicated drainage and utility easements at the perimeter of the outlot will be vacated as part of the plat process.</p> <p>The proposed development of the subject property is illustrated on a sketch plan submitted as supporting information with the plat application. The sketch plan illustrates development of a 9,600 square foot building to be constructed as a commercial swim school. The site plan also illustrates a second 11,900 square foot building within the proposed lot as a future construction. The development of the proposed lot will require future application for site and building plan approval. This is expected to occur concurrent with application for final plat approval.</p> <p>A public hearing to consider the preliminary plat application and easement vacation was held by the Planning Commission at their meeting on 20 January 2026. Mr. Duane Boris of Foss Swim School was present and agreed with the recommendations of City staff. The Planning Commission had no comments regarding the plat. They did discuss traffic, site access, and off-street parking related to the sketch plan. The Planning Commission concluded that the multiple access points to the lot, as well as the supply of parking within the site is sufficient to avoid congestion on the public streets.</p> <p>The City Council will consider approval of the preliminary plat on 26 January 2026. Applications for final plat approval and Site and Building Plans will be submitted subsequently. The City Council will act on the vacation of existing drainage and utility easements concurrently with the final plat.</p> | |

SUPPORTING DOCUMENTS ATTACHED:

- **Planning Report dated 14 January 2026**
- **Resolution 2026-08**

POSSIBLE MOTION

PLEASE WORD MOTION AS YOU WOULD LIKE IT TO APPEAR IN THE MINUTES:

Motion to adopt Resolution 2026-08 approving a preliminary plat for the Great River Centre of Otsego Eighth Addition.

BUDGET INFORMATION

| FUNDING: | BUDGETED: |
|--------------------------------|-----------|
| Fund 701 – Development Escrows | N/A |



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TPC@PlanningCo.com

PLANNING REPORT

TO: Otsego Planning Commission

FROM: D. Daniel Licht

REPORT DATE: 14 January 2026

120-DAY DATE: 11 April 2026

RE: Otsego – Foss Swim School; Preliminary Plat/Sketch Plan

TPC FILE: 101.02

BACKGROUND

Foss Swim School has submitted application to plat Outlot A, Great River Centre Otsego Seventh Addition as one lot for commercial development. The proposed lot is subject to preliminary plat review as it was not previously identified as a buildable lot at the time the current outlot was established. Previously dedicated drainage and utility easements at the perimeter of the outlot will be vacated as part of the plat process. A public hearing to consider the preliminary plat application has been noticed for the Planning Commission meeting on 20 January 2026.

The proposed development of the subject property is illustrated on a sketch plan submitted as supporting information with the plat application. The sketch plan illustrates development of a 9,600 square foot building to be constructed as a commercial swim school. The site plan also illustrates a second 11,900 square foot building within the proposed lot as a future construction. The development of the proposed lot will require future application for site and building plan approval. This is expected to occur concurrent with application for final plat approval.

Exhibits:

- Site Location Map
- Final Plat
- Civil plans dated 12 December, 2025

ANALYSIS

Comprehensive Plan. The 2023 Comprehensive Plan guides the subject property within the Great River Centre of Otsego for commercial land use as part of the City’s primary retail, service, and office area within the community. The platting of the subject to allow for development of the proposed swim school allows for a commercial indoor recreation business that will serve Otsego and the surrounding region. The proposed use is consistent with the types of businesses planned for the area by the 2023 Comprehensive Plan.

PUD District. The City Council approved a PUD District for the Great River Centre of Otsego on 13 March 2006. The PUD District is based upon the uses and performance standards as allowed within the B-1, Retail Business District. The B-1 District allows for the proposed swim school as a permitted use defined as instructional classes and indoor commercial recreation. Development of permitted commercial uses is subject to site and building plan review by the Planning Commission and approval of the City Council in accordance with Section 11-9-3 of the Zoning Ordinance.

Surrounding Area. The table below summarizes the existing and planned land uses surrounding the subject property:

| Direction | Land Use Plan | Zoning Map | Existing Use |
|-----------|---------------|--------------|--|
| North | Commercial | PUD District | Tires Plus Wings Financial Everbrook Academy |
| East | Commercial | PUD District | The Village apartments |
| South | Office | B-4 District | Twin City Bee Keeping EDCO/Undeveloped |
| West | Commercial | PUD District | Good Day Car Wash |

The area within Great River Center bounded by 87th Street/Quaday Avenue/85th Street/Parrish Avenue (CSAH 42) is designated as a Village Center, where development is to utilize elements of traditional neighborhood design in both site planning and architecture. When Good Day Car Wash was constructed, the application review noted that development of Outlot A, Great River Centre of Otsego would be required to develop in accordance with the Village Center elements of the Great River Centre of Otsego PUD Design Guidelines. The indoor commercial recreation use and future retail building is more consistent with the community service type businesses anticipated for this area of the Great River Centre and will be compatible with the day care and apartment uses directly adjacent to the subject property.

Preliminary Plat. The developer has submitted a preliminary plat to plat the existing 2.97 acre outlot into one lot.

- **Lot Requirements.** There are no minimum lot area or width requirements for subdivision of lots within the GRC PUD District. Lot 1, Block 1 is proposed to be 2.97 acres in area and is 305 feet in width as measured at the front setback line abutting 85th Street. The necessary area and width of a specific lot is to be based on required setbacks and a functional site plan in terms of access and circulation. The sketch plan, reviewed in detail in subsequent paragraphs, illustrates a feasible development of the proposed lot.
- **Right-of-Way.** The subject property 85th Street and Parson Avenue. The City Engineer is not recommending additional right-of-way dedication be required for 85th Street or Parson Avenue.
- **Utilities.** The subject property is within the East Sewer District established by the 2023 Comprehensive Plan. Sewer and water utilities are available at the property to serve the proposed development as illustrated on the preliminary utility plan. The utility plan and any related issues will be subject to review and approval by the City Engineer as part of a future site and building plan review application.

The developer is required to pay Utility Availability Charges at the time of final plat approval. These fees are used by the City to fund the construction of the trunk sewer collection pipes and water distribution pipes. A preliminary calculation of the Sewer Availability Charges (SAC) and Water Availability Charges (WAC) based on the 2026 Fee Schedule for the proposed lot are provided below:

- WAC: 3.5 RECS/ac. x 2.97ac. x \$4,596.00/REC = \$47,775.42
- SAC: 3.5 RECS/ac. x 2.97ac. x \$3,171.00/REC = \$32,962.55

Additional utility related fees are collected at the time a building permit is issued. The Utility Connection Fees are used by the City for the construction of the operational elements of the sewer and water utilities such as wastewater treatment facilities, lift stations, wells, pump houses, water towers and water treatment plants. The calculation of the Utility Connection Fees for commercial uses is based on the schedule for Residential Equivalent Connections development by Metropolitan Council Environmental Services based on water use for specific activities. The 2026 schedule for connection fees is shown below.

- Water Connection Fee: \$4,596.00/REC
- Sewer Connection Fee: \$9,513.00/REC

- **Stormwater.** The developer has submitted a preliminary grading plan for the proposed development of the subject site. The grading plan and all stormwater management related issues will be subject to review and approval by the City Engineer as part of a subsequent site and building plan review application. The subject property is not included within a watershed district and no stormwater impact fee is required at the time of final plat approval.
- **Easements.** Section 10-8-12 of the Subdivision Ordinance requires dedication of 10 foot wide drainage and utility easements at the perimeter of proposed lots, over stormwater management facilities, and over water utility extensions. There are existing drainage and utility easements along the north, east, and south lines of the subject property that will be vacated and replaced by new easements dedicated with the proposed plat. The proposed plat illustrates the required perimeter easements. Additional easements to be recorded by document related to sewer, water or stormwater utilities may be required as part of the site and building plan review application. All drainage and utility easements are to be subject to review and approval by the City Engineer.
- **Park Dedication.** The initial final plat of the Great River Centre of Otsego was credited as having satisfied park dedication requirements through trail improvements within the subdivision. No additional park dedication is required for approval of a final plat for the proposed preliminary plat.

Sketch Plan. A sketch plan illustrating development of the proposed lot has been submitted with the application for preliminary plat approval. The proposed development of the subject property includes a 9,600 square foot building for a commercial swim school and future 11,900 square foot retail commercial building.

- **Setbacks.** The following setbacks are required of the subject site based on the requirements of the GRC PUD District Design Guidelines and the B-1 District. The sketch plan complies with these requirements. Importantly, the site plan locates the proposed swim school building at the southeast corner of the lot with the parking in-line or behind the building as viewed from Parson Avenue. This site layout is encouraged by the GRC PUD District design guidelines and is consistent with the location of other commercial buildings along Parson Avenue to the north.

| 85 th St. | Parson Ave. | North | Parking | |
|----------------------|-------------|-------|---------|----------|
| | | | ROW | Interior |
| 30ft. | 20ft. | 10ft. | 15ft. | 5ft. |

- **Access.** The subject site abuts 85th Street, and Parson Avenue. One access is proposed to 85th Street, which meets the intersection spacing requirements established by Section 11-21-6.B of the Zoning Ordinance. There is a second access to Parson Avenue at the northeast corner of the proposed lot. This access is shared by easement with the Good Day Car Wash and aligns with the access to The Village apartments to the east.

- **Off-Street Parking.** The sketch plan illustrates 125 off-street parking spaces, six of which are disability accessible.

Section 11-21-8 of the Zoning Ordinance requires instructional class and retail uses to provide one off-street parking space for each 200 square feet of net floor area. A preliminary calculation of required parking is provided below. The number of spaces shown on the sketch plan exceeds the requirements of the Zoning Ordinance.

| Use | Gross Area | Net Area | Requirement | Required Spaces |
|-----------------------|------------|-----------|----------------|-----------------|
| Instructional Classes | 9,600sf. | 8,640sf. | 1 space/200sf. | 44 |
| Retail | 11,900sf. | 10,710sf. | | 54 |
| Total | | | | 98 |

The dimensions of the drive aisle and parking spaces comply with Section 11-21-7.B of the Zoning Ordinance. Asphalt pavement and perimeter concrete curb is required by Sections 11-21-7.C and D of the Zoning Ordinance and is subject to review and approval of the City Engineer with application for site and building plan review.

- **Sidewalks/Trails.** There is an existing sidewalk adjacent to the north side of 85th Street abutting the subject property. There is also a public trail along the north line of the subject property that connects between Parrish Avenue (CSAH 42) and Parson Avenue.

The sketch plan illustrates construction of a sidewalk along Parson Avenue from 85th Street north to the north line of the subject property. This segment connects to the sidewalk on the west side of Parson Avenue extending to 87th Street that was constructed with Everbrook Academy.

There are connections to the sidewalks on 85th Street and Parson Avenue from the front of the swim school and retail building shown on the site plan.

- **Buildings.** No details have been provided regarding the proposed swim school building. Architectural elevations and floorplans will be required to be submitted at the time of site and building plan review for each building.
 - **Exterior Materials.** The exterior design for the proposed buildings are subject to the guidelines included in the GRC PUD District Design Guidelines booklet. The GRC PUD District Design Guidelines would encourage large window areas on all sides of the building and emphasis on the architectural details facing 85th Street and Parson Avenue. Exterior materials for each building must also comply with the exterior finish requirements established by Section 11-17-4.D.1 of the Zoning Ordinance.

- **Height.** The GRC PUD District establishes height limitations intended to preserve viewsheds of the SuperTarget store as the anchor of the Great River Centre of Otsego development. The height of buildings within the proposed lot are limited to two stories or 28 feet. Building height is measured to the deck of a flat roof or the mean height of a pitched roof as defined by Section 11-2-2 of the Zoning Ordinance.
- **Landscaping.** The sketch plan does not include proposed landscaping. A landscape plan meeting the requirements of Section 11-19-2 of the Zoning Ordinance will be required to be submitted with application for site and building plan review. In addition to the general landscape guidance provided in Section 11-19-2.B.2 of the Zoning Ordinance, the landscape plan should include:
 - Natural grasses or shrubs planted to screen the view of off-street parking area from view of 85th Street and Parson Avenue.
 - An irrigation system required by Section 5-2-3.C.2 of the City Code
- **Exterior Lighting.** The design and location of exterior lighting within the subject site must comply with Section 11-16-6 of the Zoning Ordinance. An exterior lighting plan, including photometric measurements, is to be submitted application for site and building plan review. All exterior lighting is to be subject to review and approval of the Zoning Administrator.
- **Waste Storage.** The sketch plan does not indicate locations for waste containers. Any outdoor storage of waste containers requires an enclosure subject to the requirements of Section 11-18-4.C of the Zoning Ordinance. If outdoor storage of waste containers is intended, plans for the required enclosure are to be submitted with application for site and building plan review.
- **Signs.** The sketch plan does not include details regarding any proposed signs. Signs with GRC PUD District Design Guidelines allow wall signs to be installed on all four sides of principal buildings with the area of the signs limited to 15 percent of the wall area and no individual wall sign exceeding 100 square feet. One shared freestanding sign for the proposed lot may also be considered as part of the site and building plan review application. A sign permit application is required to be submitted prior to placement of any signs upon the property and is subject to review and approval of the Zoning Administrator.

Final Plat. The developer must submit application for final plat in accordance with Section 10-3-3.F of the Subdivision Ordinance within one year of preliminary plat approval.

Development Contract. Section 10-10-4.A of the Subdivision Ordinance requires the developer to enter into a development contract at the time of final plat approval. The development contract will be combined with a Site Improvement Performance Agreement as required by Section 11-9-7 of the Zoning Ordinance for development of the lot. The development contract will ensure construction of the project as approved by the City, completion of any public improvements, establishment of required securities, and payment of applicable fees. The development contract will be drafted by the City Attorney and is subject to approval of the City Council.

RECOMMENDATION

The proposed preliminary plat complies with the requirements of the Subdivision Ordinance. Platting of the proposed lot will provide for development of an indoor commercial recreation use providing instructional classes that will increase available services to Otsego, as well as the surrounding area. The proposed development of the site will also provide future opportunity for increased retail spaces to accommodate other retail, service, or office uses in the area. City staff recommends approval of the preliminary plat application as outlined below.

POSSIBLE ACTIONS

Motion to recommend City Council **approval** of a preliminary plat for Great River Centre of Otsego Eighth Addition, subject to the following conditions:

1. Approval of the preliminary plat shall not guarantee access to sanitary sewer service. The City shall only allocate sanitary sewer capacity to approved final plats with signed development contracts to assure the City of timely development.
2. Right-of-way dedication and access to 85th Street and Parson Avenue shall be subject to review and approval of the City Engineer.
4. Lot 1, Block 1 shall comply with the following setback requirements:

| | | | | |
|----------------------|-------------|-------|---------|----------|
| 85 th St. | Parson Ave. | North | Parking | |
| | | | ROW | Interior |
| 30ft. | 20ft. | 10ft. | 15ft. | 5ft. |

5. All utility issues shall be subject to review and approval of the City Engineer.
6. The developer shall pay Utility Availability Charges for the proposed lot at the time of final plat approval in accordance with Title 8, Chapter 1 of the City Code.
7. The developer shall pay Utility Connection Fees for construction of proposed principal uses at the time a building permit is issued, in accordance with Title 8, Chapter 1 of the City Code.

8. All grading, drainage, erosion control and stormwater management issues shall be subject to review and approval of the City Engineer.
9. All easements shall be subject to review and approval of the City Engineer.
10. Development of Lot 1, Block 1 shall require application for site and building plan review, or other zoning applications as may be required by Zoning Ordinance, as provided for by Section 11-9-3 of the Zoning Ordinance.
 - a. Access and Off-Street Parking:
 - (1) The design and construction of off-street parking areas shall comply with Section 11-21-7 of the Zoning Ordinance, subject to review and approval of the City Engineer.
 - (2) The off-street parking area shall provide for the number of spaces as required by Section 11-21-8 of the Zoning Ordinance.
 - b. The architectural design and exterior materials for any principal and accessory building(s) shall comply with the GRC PUD District Design Guidelines Booklet and Section 11-17-4.D.1 of the Zoning Ordinance.
 - c. The height of any principal and accessory building(s) shall not exceed 28 feet as defined by the Zoning Ordinance.
 - d. A landscape plan subject to review and approval of the Zoning Administrator shall be submitted outlining proposed location, type, size, and quantities of proposed plantings along with planting details meeting the requirements of Section 11-19-2 of the Zoning Ordinance, and:
 - (1) Natural grasses or shrubs planted to screen the view of off-street parking area from view of 85th Street and Parson Avenue.
 - (2) An irrigation system shall be installed as required by Section 5-2-3.C.2 of the City Code.
 - e. All exterior lighting shall comply with Section 11-16-6 of the Zoning Ordinance, subject to review and approval of the Zoning Administrator.
 - f. All signs shall comply with the GRC PUD District Design Guidelines booklet and Chapter 37 of the Zoning Ordinance, subject to review and approval of the Zoning Administrator.

- g. Any outdoor storage of waste containers shall require an enclosure that complies with the provisions of Section 11-18-4.C of the Zoning Ordinance, subject to review and approval of the Zoning Administrator.

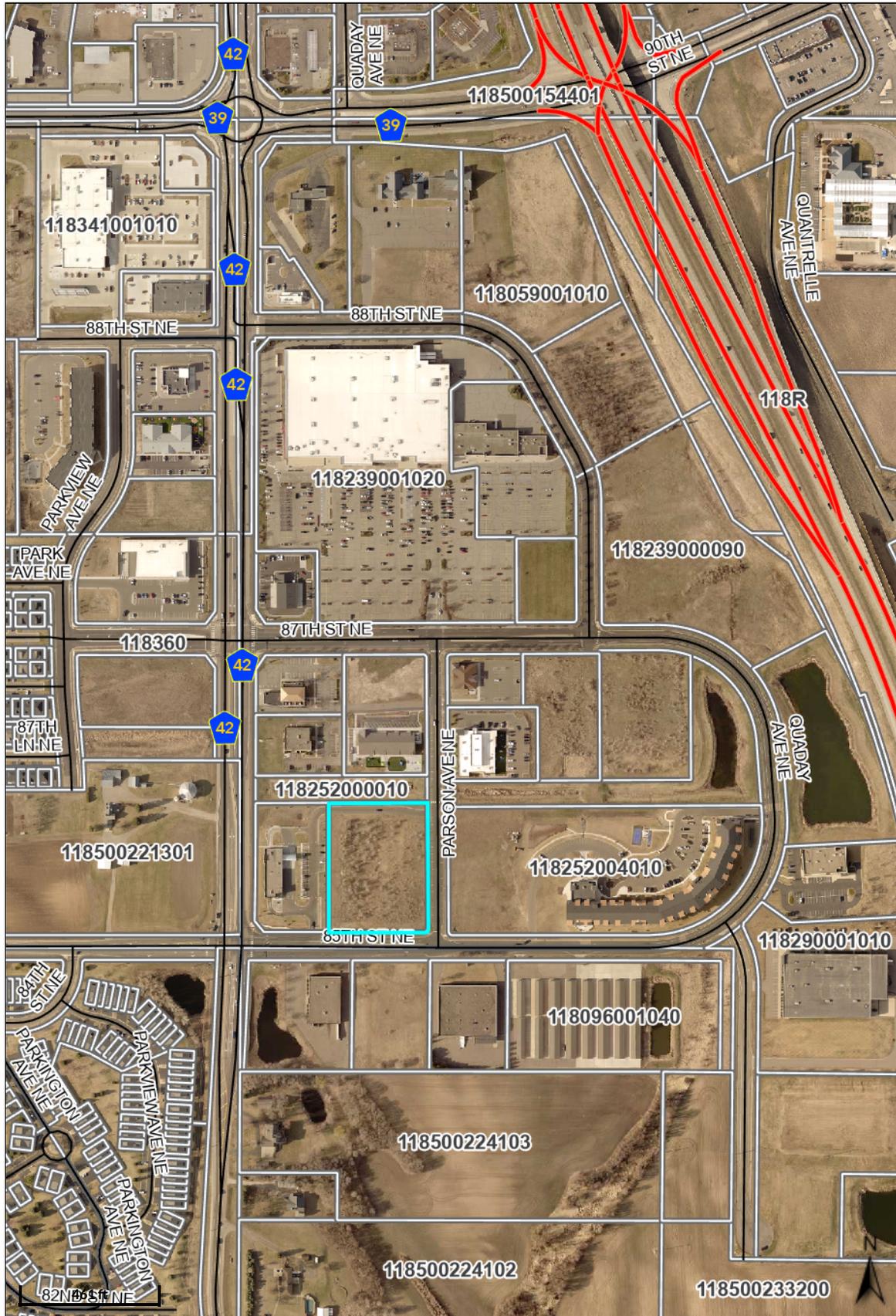
- 11. The developer shall enter into a development contract as required by Section 10-10-4.A of the Subdivision Ordinance at the time of final plat approval and Section 11-9-7 of the Zoning Ordinance related to site and building plan review approval, subject to review by the City Attorney and approval of the City Council.

- 12. A final plat shall be approved within one year of City Council approval or the preliminary plat shall be deemed void.

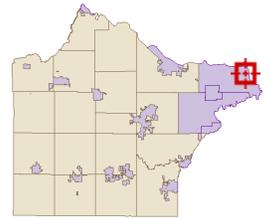
- c. Adam Flaherty, City Administrator/Finance Director
Audra Etzel, City Clerk
Ron Wagner, City Engineer
David Kendall, City Attorney

Foss Swim School

Site Location



Overview



Legend

Highways

- Interstate
- State Highway
- US Highway
- Roads

City/Township Limits

- c
- t
- Parcels
- Torrens

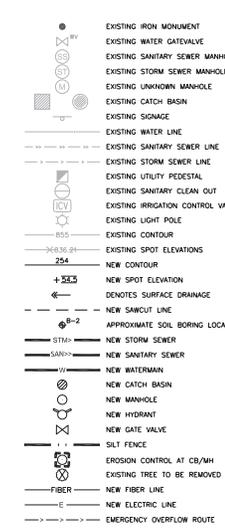
NOTES

1. ALL EXISTING INFORMATION TAKEN FROM SURVEY PROVIDED BY AREA LAND SURVEYING, CONDUCTED OCTOBER 20, 2025.
2. REPORT OF GEOLOGICAL EXPLORATION PREPARED BY AMERICAN ENGINEERING TESTING, INC., PROJECT NO. P-0014837 DATED SEPTEMBER 22, 2022.
3. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
4. ALL AREAS DISTURBED BY CONSTRUCTION WHICH ARE OUTSIDE THE LIMITS OF PAVING TO BE RESTORED AND REVEGETATED.
5. ALL UTILITY DETAILMENTS AND/OR ABANDONMENT TO BE PERFORMED IN ACCORDANCE WITH THE CITY OF OTSEGO AND STATE OF MINNESOTA REGULATIONS AND STANDARDS.
6. EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, GAS, CABLE TV, COPIPER CABLE, FIBER OPTIC CABLE, SANITARY SEWER, STORM SEWER, STEAM, CONDENSATE, ELECTRICAL, DRAINAGE AND WATERMAIN. CONTRACTOR TO CONTACT Gopher ONE-CALL BEFORE EXCAVATING.
7. ALL EXISTING UTILITIES AND OTHER IMPROVEMENTS ARE TO REMAIN UNLESS NOTED OTHERWISE.
8. CONTRACTOR TO PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS, LANDSCAPING, STRUCTURES AND UTILITIES THAT ARE TO REMAIN. CONTRACTOR TO REPAIR ANY DAMAGE AT OWN EXPENSE.
9. ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR, PART 1926, SUBPART P "EXCAVATIONS AND TRENCHES." THIS DOCUMENT STATES THAT EXCAVATION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. PROVIDE BARRICADES AT STREETS AND SIDEWALKS PER CITY OF OTSEGO AND MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PRIOR TO STARTING CONSTRUCTION.
11. ALL MATERIALS FOR PROPOSED CONSTRUCTION OR REPAIR OF EXISTING FACILITIES SHALL BE NEW PRODUCTS SHIPPED FROM THE FACTORY AND FREE FROM DEFECTS.
12. WHEN WORKING AROUND EXISTING TELEPHONE OR ELECTRICAL POLES, THE CONTRACTOR SHALL BRACE THE POLE FOR SUPPORT.
13. WHEN WORKING AROUND EXISTING UTILITIES THAT BECOME EXPOSED, THE CONTRACTOR SHALL PROVIDE SUFFICIENT PROTECTION TO PREVENT DAMAGE TO EXISTING PIPING. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.
14. CONTRACTOR TO FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. IF ELEVATIONS DIFFER FROM SURVEYED ELEVATIONS SHOWN ON PLAN, REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
15. SITE UTILITY CONTRACTOR TO FURNISH AND INSTALL ALL WATERMAIN, SANITARY SEWER AND STORM SEWER FACILITIES AND APPURTENANCES TO WITHIN THE FEET OUTSIDE THE BUILDING. COORDINATE WITH MECHANICAL CONTRACTOR FOR EXACT LOCATION AND DEPTH OF CONNECTION WITHIN BUILDING.
16. CATCH BASINS AND MANHOLES ARE SHOWN ON PLAN LARGER THAN ACTUAL SIZE. COORDINATE LOCATION OF MANHOLE, COVER AND CURB TO THAT OF OTHER PIPING LOCATED AT THE BACK OF CURBLINE FOR THE CURB ALLEYS OR CURBLES ARE SHOWN AS SHOWN ON THE PLAN FOR THE AREA DRAINS AND MANHOLE COVERS.
17. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL DRAWINGS TO VERIFY LOCATION, SIZE AND QUANTITY OF ALL ROOF DRAINS AND UTILITY CONNECTIONS. LIMITS OF PROPOSED SITE PLUMBING FACILITIES SHALL BE FREE FROM EDGE OF BUILDING UNLESS OTHERWISE NOTED.
18. PROVIDE THE FOLLOWING MINIMUM COVER OVER THE TOP OF PIPE AS FOLLOWS:
 a. 8" OVER WATERMAIN
 b. 5" OVER SANITARY SEWER
 c. OVER STORM SEWER
19. ALL PAVEMENT MARKINGS WITHIN EXISTING CITY PAVEMENT AREAS TO BE RESTORED TO MATCH EXISTING UNLESS NOTED OTHERWISE.
20. MAXIMUM CROSS-SLOPES FOR SIDEWALKS AND ADA ACCESS ROUTES SHALL NOT EXCEED 2.00%. MAXIMUM SLOPES FOR ADA PARKING STALLS AND ADA ACCESS ANGLES SHALL NOT EXCEED 2.00% IN ANY DIRECTION. MAXIMUM RUNNING SLOPE FOR ALL SIDEWALKS SHALL NOT EXCEED 5.00%.
21. THE CONTRACTOR SHALL PROVIDE A CONTINUOUS, ACCESSIBLE AND SAFE PEDESTRIAN WALKWAY THAT MEETS ADA AND MINNESOTA MUTCD STANDARDS IF WORKING IN A SIDEWALK AREA, AND TRAFFIC CONTROL PER MINNESOTA MUTCD REQUIREMENTS FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
22. WASTE MATERIALS INCLUDING PAVEMENT REMOVED DURING CONSTRUCTION, WASTE PIPING AND SUPPLIES, CONSTRUCTION DEBRIS AND EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSAL OF PROPERLY BY THE CONTRACTOR.
23. CONTRACTOR SHALL NOT BLOCK DRAINAGE FROM OR DIRECT EXCESS DRAINAGE ONTO ADJACENT PROPERTY.
24. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY EXISTING DRAINAGE, DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE DRAINING AUTHORITY. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
25. CARE MUST BE TAKEN DURING CONSTRUCTION AND EXCAVATION TO PROTECT ANY SURVEY MONUMENTS AND/OR PROPERTY IRONS.
26. COORDINATE SCHEDULING OF CLOSURES AND RE-OPENINGS OF CROSSINGS, LOADING DOCKS, DAMPERS, DRIVEWAYS, SIDEWALKS AND ROADS WITH OWNER AND CITY OF OTSEGO. TRAFFIC CONTROL SCHEDULE, TEMPORARY WALKWAYS AND TEMPORARY DRIVEWAYS TO CONFORM WITH CITY OF OTSEGO AND STATE OF MINNESOTA REQUIREMENTS AND STANDARDS.
27. DRAWINGS DO NOT INDICATE AREAS OF TEMPORARY SUPPORT SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL WEAHS AND METHODS TO MAINTAIN TOTAL CONTROL OVER THE TYPES AND DESIGN OF ALL SHORING, SKEETING, BRACING, AND ANCHORING AND SUPPORT WALLS, DIRECTIONAL BORING, AUGER JACKING, SOIL STABILIZATION AND OTHER METHODS OF PROTECTING EXISTING IMPROVEMENTS. SEE SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS.
28. STORAGE AND PROTECTION OF EXISTING SITE FEATURES WHICH NEED TO BE REMOVED AND REPLACED FOR CONSTRUCTION OF PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR. STORAGE SHALL BE WITHIN THE LIMITS OF STAGING AREA. CONTRACTOR SHALL PREVENT DAMAGE OR THEFT OF THESE ITEMS AND TO REPLACE AT OWN EXPENSE.

EROSION CONTROL NOTES

53. MISCELLANEOUS ANY PUBLIC INFRASTRUCTURE RESULTING FROM THE CONTRACTOR'S ACTIVITIES, INCIDENTAL OR OTHERWISE, SHALL BE REPAIRED AND/OR REPLACED TO THE SATISFACTION OF THE CITY AT NO COST TO THE CITY.
54. EXISTING PUBLIC PROPERTY TREES ARE TO BE PROTECTED DURING CONSTRUCTION. PUBLIC TREES DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO THE SATISFACTION OF, AND AT NO COST TO THE CITY, AS DETERMINED BY THE FORESTRY MANAGER. THE CONTRACTOR IS ADVISED TO DOCUMENT PRE-EXISTING CONDITION OF PUBLIC TREES AS WELL AS THE SURROUNDING BOULEVARD PRIOR TO CONSTRUCTION ACTIVITIES.
55. PUBLIC PROPERTY TREES SHALL BE PROTECTED BY ESTABLISHING A TREE PROTECTION ZONE USING 4" TALL FENCING INSTALLED BY THE TREE TRIMMER. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO THE START OF ANY WORK AND MAINTAINED FOR THE DURATION OF THE PROJECT. PROTECTED WORK WITHIN OR OUTSIDE THE TREE PROTECTION FENCING SHALL BE REVIEWED BY THE CITY FORESTER PRIOR TO ALTERATION.
56. BOULEVARD RESTORATION SHALL INCLUDE THE FOLLOWING: ALL CONCRETE, ASPHALT, AND BASE MATERIALS SHALL BE REMOVED. BOULEVARD SOLES ARE TO BE PROTECTED DURING CONSTRUCTION BY USING PLYWOOD, A 6" LAYER OF MULCH, AND/OR TRACK PADS. SOIL COMPACTION DUE TO CONSTRUCTION ACTIVITIES SHALL BE CORRECTED TO THE SATISFACTION OF, AND AT NO COST TO THE CITY, PRIOR TO FINAL GRADING. BOULEVARDS SHALL BE RESTORED WITH A MINIMUM OF 6" OF TOPSOIL.
57. CONSTRUCTION SUPPLIES, MATERIALS, SPILLS, EQUIPMENT, AND VEHICLES SHALL NOT BE STORED OR OPERATED WITHIN THE TREE LINE OF ANY PUBLIC TREE OR ON TURF BOULEVARDS WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY FORESTER. IF THE BOULEVARD MUST BE USED FOR CONSTRUCTION ACTIVITIES, SITE ACCESS ROUTES, MATERIAL STORAGE, OR OTHER RELATED ACTIVITIES, PROTECTIVE MEASURES APPROVED BY THE CITY FORESTER SHALL BE TAKEN TO REDUCE SOIL COMPACTION AND DAMAGE TO PUBLIC TREES.
58. ALL PIPE 2" AND SMALLER MUST BE TYPE K COPPER. PIPE MATERIAL FOR 8" DUCTILE IRON PIPE MUST BE CLASS 52. PIPE MATERIAL FOR 6" AND 4" DUCTILE IRON PIPE MUST BE CLASS 52. THE EXTERIOR OF DUCTILE IRON PIPE SHALL BE COATED WITH A LAYER OF ASPHALT SEAL COAT. THE INTERIOR OF DUCTILE IRON PIPE MUST BE COATED WITH A LAYER OF POLYURETHANE MORTAR LINING SHALL BE APPLIED WITHOUT ASPHALT SEAL COAT. THE INTERIOR OF DUCTILE IRON PIPE POLYURETHANE MORTAR LINING SHALL BE APPLIED WITHOUT ASPHALT SEAL COAT. THE INTERIOR OF DUCTILE IRON PIPE POLYURETHANE MORTAR LINING SHALL BE APPLIED WITHOUT ASPHALT SEAL COAT.
59. THICKENED EDGE EXPANSION JOINTS SHALL BE PLACED ALONG THE EDGE OF ALL CONCRETE PAVEMENT AT THE PERIMETER OF ALL STREETS, CONCRETE CURB AND GUTTER ADJACENT PAVEMENT.
60. THE DRAWINGS REPRESENT TO FINISHED SITE NOT THE METHOD OF CONSTRUCTION. THE ENGINEER IS NOT RESPONSIBLE FOR CONTRACTOR'S MEANS AND METHODS, SEQUENCING OF CONSTRUCTION OR SAFETY PROGRAM. OBSERVATION VISITS TO THE SITE BY THE ENGINEER WILL NOT INDICATE AWARENESS OF THESE ITEMS.
61. WHERE DISCREPANCIES OCCUR BETWEEN GENERAL NOTES, PLANS, DETAILS AND SPECIFICATIONS, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN, UNLESS OTHERWISE VERIFIED BY THE ENGINEER OR ARCHITECT IN WRITING.
62. THESE DOCUMENTS SHALL NOT BE CONSIDERED AS STAND-ALONE DOCUMENTS. CONTRACTOR SHALL COORDINATE WITH ALL OTHER DISCIPLINE'S DOCUMENTS.
63. FOR TREES TO REMAIN HEALTHY DURING A CONSTRUCTION PROJECT THEY MUST BE PROTECTED FROM CONSTRUCTION ACTIVITIES. TREE AND PLANT PROTECTION, THE FOLLOWING REQUIREMENTS APPLY TO ALL CONSTRUCTION SITES:
 A. TREES WITHIN THE CONSTRUCTION ZONE SHALL BE PROTECTED FROM DAMAGE AND SOIL COMPACTION BY EQUIPMENT, DEBRIS AND STORAGE. PROTECTIVE CONCRETE BARRICADES, CONSTRUCTION FENCING OR CHAIN LINK FENCING AND NOTED ON CONTRACTOR'S CONSTRUCTION LAYOUT.
 B. TREE PROTECTION SHALL BE PLACED AT A MINIMUM OF ONE AND A HALF (1.5) TIMES (IN FEET) THE CALIPER DIMENSION (IN INCHES) FROM THE BASE OF THE TREE. FOR TREES WITH A CALIPER DIMENSION (IN INCHES) FROM THE BASE OF THE TREE THAT ARE NECESSARILY MARKED BY CONSTRUCTION SHALL BE PRUNED AND ROOT PRUNED AS REQUIRED BY A CERTIFIED ARBORIST.
 C. TRUNK WIRES TO BE TERMINATED IN THE CORRECT COLOR COPPEREASED TRACER WIRE BOX OR WITHIN A MANHOLE. LOCATION OF TRACER WIRE BOXES TO BE SHOWN ON AS-BUILT DRAWINGS.
64. WITHIN LANDSCAPE AREAS ALL CLASS V MATERIAL SHALL BE REMOVED AND COMPACTED SOLES DECOMPACTED TO A DEPTH OF 12" PRIOR TO INSTALLATION OF TOPSOIL.
65. CONTRACTOR SHALL TAKE PHOTOGRAPHS AND MEASUREMENTS OF ALL STORMWATER MANAGEMENT SYSTEMS THROUGHOUT CONSTRUCTION. DOCUMENTATION OF CONSTRUCTION SHALL BE SUBMITTED TO THE CIVIL ENGINEER AT THE CLOSEOUT OF THE PROJECT. CLOSEOUT DOCUMENTATION SHALL INCLUDE PHOTOGRAPHS AND MEASUREMENTS OF SYSTEM DURING CONSTRUCTION. TESTING REPORTS AND OBSERVATIONS AND REDLINE DRAWINGS OF ANY FIELD MODIFICATIONS MADE DURING CONSTRUCTION.
66. A LETTER WRITTEN ON COMPANY LETTERHEAD THAT THE STORMWATER MANAGEMENT PRACTICES HAVE BEEN BUILT PER THE CIVIL PLANS, OR PER REDLINE FIELD DRAWINGS, SHALL BE SUBMITTED TO THE CIVIL ENGINEER AT THE CLOSEOUT OF THE PROJECT.
67. THE CONTRACTOR SHALL SUBMIT AN AS-BUILT SURVEY OF THE COMPLETED SITE PREPARED AND SIGNED BY A LICENSED SURVEYOR TO THE CIVIL ENGINEER AT THE END OF THE PROJECT. THE AS-BUILT SURVEY SHALL INCLUDE ENOUGH INFORMATION TO VERIFY THE CONSTRUCTED TOPOGRAPHY, UTILITIES AND SITE ELEVATIONS. COORDINATE WITH OWNER AND CIVIL ENGINEER FOR SCHEDULE WHEN THIS SHALL BE COMPLETED.
68. CONTRACTOR TO MAINTAIN ACCESS TO THE FIRE DEPARTMENT CONNECTION FOR FIRE DEPARTMENT PERSONNEL AT ALL TIMES DURING CONSTRUCTION PERIOD. ENSURE CONSTRUCTION DOES NOT INTERFERE WITH FDC. ENSURE FDC IS CLEAR FOR 3 FEET ON ALL SIDES AND IS VISIBLE FROM THE STREET DURING CONSTRUCTION.
69. A TEMPORARY PEDESTRIAN ACCESS ROUTE (TPAR) AND/OR A TEMPORARY TRAFFIC CONTROL (TTC) PLAN MAY BE REQUIRED AS PART OF THE RIGHT-OF-WAY (ROW) PERMITTING PROCESS. SAJ TTC OR TPAR PLANS MUST BE APPROVED BY THE CITY PRIOR TO THE ROW PERMITTING OFFICE ISSUING A PERMIT(S).
70. SAFE WORK SITE REQUIREMENTS: THE CONTRACTOR SHALL PROVIDE A CONTINUOUS, ACCESSIBLE AND SAFE PEDESTRIAN WALKWAY THAT MEETS ADA AND MUTCD STANDARDS IF WORKING IN A SIDEWALK AREA, AND TRAFFIC CONTROL PER MUTCD REQUIREMENTS FOR WORK IN THE PUBLIC RIGHT-OF-WAY.

LEGEND



11. APPLY AND ACQUIRE MPCA STORMWATER CONSTRUCTION PERMIT PRIOR TO STARTING ANY WORK ON-SITE. SUBMIT ACCEPTANCE OF MPCA PERMIT TO CIVIL ENGINEER.

12. INSTALL PERMITS EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES. (MAY BALES ARE NOT AN ACCEPTABLE PERMITER CONTROL.)

13. BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 12 INCHES THICK. BALES EXIT THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING GEOTEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIXING OF SOIL INTO THE ROAD.

14. REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE REMOVED FROM THE SITE ON A DAILY BASIS WHEN TRACKING OCCURS WITHIN OR OUTSIDE THE TREE PROTECTION FENCING. CONDITIONS WARRANT SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.

15. INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASINS WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CATCH BASIN INSERTS OR OTHER APPROVED PRODUCTS ARE REQUIRED IN UNDISTURBED AREAS THAT MAY RECEIVE RUNOFF FROM THE PROJECT AREA. MAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.

16. STOCKPILES SHALL BE PROTECTED AROUND THE ENTIRE PERIMETER WHEN NOT ACTIVELY BEING WORKED. STOCKPILES ACTIVELY BEING WORKED SHALL BE STABILIZED AT THE END OF EACH WORK DAY. PRESERVED TOPSOIL STOCKPILES SHALL ADDITIONALLY BE COVERED WITH A MINIMUM OF 6 FEET FROM THE TOP OF THE SLOPE WHERE FEASIBLE. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES WITH MULCHING, VEGETATIVE COVER, TARP, OR OTHER MEANS. DO NOT PLACE CONSTRUCTION MATERIALS, BUFFER AREA SURFACES, OR STORMWATER CONVEYANCES INCLUDING GUTTERS OR SWALES, AT PUBLIC TREES.

17. MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPAIR AS DETERMINED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.

18. TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS THAT ARE NOT ACTIVELY BEING WORKED. STABILIZE ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT BEING CONDUCTED. STABILIZATION SHALL BE WIND AND RUNNING WATER WITHIN 7 DAYS. USE SEED AND MULCH TO STABILIZE AREAS. AN EARLY APPLICATION OF GRASS SEED ON AREAS TO BE PAVED IS RECOMMENDED TO MINIMIZE EROSION POTENTIAL.

19. REMOVE ALL TEMPORARY, SYNTHETIC, STRUCTURAL, NON-Biodegradable EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REQUIREMENT IS 70% ESTABLISHED COVER OVER EXPOSED AREA.

20. READY MIXED CONCRETE AND CONCRETE BATCH PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT-OF-WAY. ALL CONCRETE READY MIXED PRODUCTION, CLEANING AND WASHING WATER BE DONE IN THE DESIGNATED CONCRETE WASH/WASHOUT LOCATIONS. UNDER NO CIRCUMSTANCE MAY WASHOUT WATER DRAIN INTO THE PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE. CONTRACTOR SHALL SET UP A CONCRETE WASHOUT AREA ON-SITE THAT COMPLIES WITH MPCA REQUIREMENTS.

21. CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.

22. ALL EROSION CONTROL ELEMENTS ARE TEMPORARY. CONTRACTOR TO INSTALL EROSION CONTROL ELEMENTS PRIOR TO START OF LAND DISTURBANCE ACTIVITIES. MAINTAIN IN GOOD CONDITION DURING CONSTRUCTION AND REMOVE FROM THE SITE UPON COMPLETION OF FINAL PAVING AND USE ESTABLISHMENT.

23. EROSION CONTROL SHALL BE PLACED ALONG THE PERIMETER OF THE SITE EXCAVATION. EROSION CONTROL SHALL BE PLACED SO IT DOES NOT DISTURB THE EXISTING PAVEMENT OR DRIVE LINES THAT ARE TO REMAIN. MANY METHODS OF EROSION CONTROL, INCLUDING BUT NOT LIMITED TO, ARE AVAILABLE. CONTRACTOR TO INSTALL THE MEASURE MOST APPROPRIATE TO THE SITE CONDITIONS AND THAT MEETS THE REQUIREMENTS OF MINNESOTA STANDARDS. GRAPHICALLY SHOWN ON THE PLANS FOR LOCATIONS IN THE FIELD AND BEHIND THE BACK OF CURB. EXISTING CURBS AND GUTTERS AND STRANDED ROAD IS TO REMAIN AND SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGED CURBS AND GUTTERS OR ROADWAY WILL BE REPAIRED BY THE CONTRACTOR AND PAID FOR SOLELY BY THE CONTRACTOR. SEE DETAILS AND SPECIFICATIONS.

24. CONTRACTOR TO PREVENT DIRT AND/OR DEBRIS FROM ENTERING STORM SEWER OR BEING TRANSPORTED OFF-SITE IN AN UNCONTROLLED MANNER. CONTRACTOR TO VERIFY AT PROJECT CLOSEOUT THAT STORM SEWER SYSTEM IS CLEAR OF SEDIMENT AND/OR DEBRIS AND IS FULLY FUNCTIONAL.

25. CONTRACTOR TO PROVIDE TEMPORARY SEED AND MULCH ON ALL NON-PAVED AREAS WITHIN 7 DAYS AFTER SOILS GRADING IS COMPLETED. SEED WITH ANNUAL BLY SEED AT 60 LBS PER ACRE AND WOOD MULCH FIBER AT 45 LBS PER 1,000 SF.

26. SEE C300 FOR ADDITIONAL PROJECT INFORMATION.

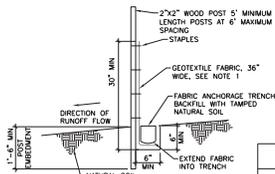


CITY SUBMITTAL

| NO. | DESCRIPTION | DATE |
|-----|----------------|-------------------|
| 1 | Project Number | 2403 |
| 2 | Date | 10 December, 2025 |
| 3 | Drawn by | JBR |
| 4 | Checked by | BSR |

CIVIL NOTES AND LEGEND

C100

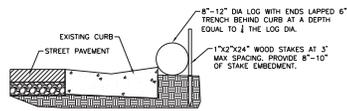


- NOTES:
1. GEOTEXTILE FABRIC SHALL BE PER MNDOT SPEC 3886.
 2. SILT FENCES SHOULD BE INSTALLED ON THE CONTOUR (AS OPPOSED TO UP AND DOWN A HILL) AND CONSTRUCTED SO THAT FLOW CANNOT BYPASS THE ENDS.
 3. ENSURE DRAINAGE AREA IS NO GREATER THAN 1/4 ACRE PER 100 FT. OF FENCE.
 4. FIELD VERIFY THE MAXIMUM SLOPE LENGTH IN THE TABLE. THIS LENGTH EQUATES TO A 2 FOOT STORAGE HEIGHT FOR THE 100-YEAR EVENT.
 5. SILT FENCE INSTALLATION TO CONFORM TO MNDOT SPEC 2573.3

| | | BY ACCEPTED DESIGN PRACTICES | |
|-----------|---------|------------------------------|--|
| SLOPE H/V | PERCENT | MAXIMUM SLOPE LENGTH | |
| 100:1 | 1% | 100 FT | |
| 50:1 | 2% | 75 FT | |
| 25:1 | 4% | 75 FT | |
| 20:1 | 5% | 75-50 FT | |
| 17:1 | 6% | 50 FT | |
| 12.5:1 | 8% | 50 FT | |
| 10:1 | 10% | 50-25 FT | |
| 5:1 | 20% | 25-15 FT | |
| 4:1 | 25% | 15 FT | |
| 3:1 | 33% | 15 FT | |
| 2:1 | 50% | 15 FT | |

1 SILT FENCE - PREASSEMBLED

NO SCALE



CURB INSTALLATION

17/32"x24" WOOD STAKES AT 3' MAX SPACING. STAKES SHALL BE DRIVEN OVER LOG AT A 45° ANGLE WITH TOP OF STAKE POINTING UPSTREAM. PROVIDE 8"-10" OF STAKE EMBELEMNT.

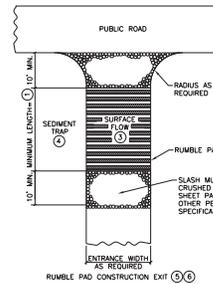
FIELD INSTALLATION USING MULCH OR COMPOST

17/32"x24" WOOD STAKES AT 3' MAX SPACING. STAKES SHALL BE DRIVEN THROUGH BACK HALF OF LOG AT A 45° ANGLE WITH TOP OF STAKE POINTING UPSTREAM. PROVIDE 8"-10" OF STAKE EMBELEMNT.

FIELD INSTALLATION USING STRAW OR WOOD FIBER

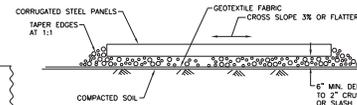
2 SEDIMENT CONTROL FILTER LOG

NO SCALE



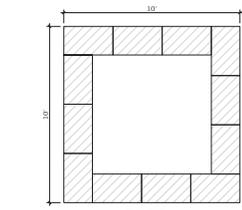
3 RUMBLE PAD CONSTRUCTION EXIT

NO SCALE

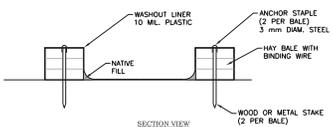


NOTES:

1. MINIMUM LENGTH OF RUMBLE PAD SHALL BE 20 FEET, OR AS REQUIRED TO REMOVE SEDIMENT FROM TIRES. IF SIGNIFICANT SEDIMENT IS TRACKED FROM THE SITE, THE RUMBLE PAD SHALL BE LENGTHENED OR THE DESIGN MODIFIED TO PROVIDE ADDITIONAL VIBRATION. WASH-OFF LENGTH SHALL BE AS REQUIRED TO EFFECTIVELY REMOVE CONSTRUCTION SEDIMENT FROM VEHICLE TIRES.
2. PROVIDE RADIUS OR WIDEN PAD SUFFICIENTLY TO PREVENT VEHICLE TIRES FROM TRACKING OFF OF PAD WHEN LEAVING SITE.
3. IF RUNOFF FROM DISTURBED AREAS FLOWS TOWARD CONSTRUCTION EXITS, PREVENT RUNOFF FROM BRUSHING DIRECTLY TO PUBLIC ROAD OVER CONSTRUCTION EXIT BY CROWNING THE EXIT OR SLOPING TO ONE SIDE. IF SURFACE GRADING IS INSUFFICIENT, PROVIDE OTHER MEANS OF INTERCEPTING RUNOFF.
4. IF RUNOFF FROM CONSTRUCTION EXITS WILL DRAIN OFF OF PROJECT SITE, PROVIDE SEDIMENT TRAP WITH STABILIZED OVERTLOW.
5. IF A TIRE WASH OFF IS REQUIRED, THE CONSTRUCTION EXITS SHALL BE GRADED TO DRAIN THE WASH WATER TO A SEDIMENT TRAP.
6. MAINTENANCE OF CONSTRUCTION EXITS SHALL OCCUR WHEN THE EFFECTIVENESS OF SEDIMENT REMOVAL HAS BEEN REDUCED. MAINTENANCE SHALL CONSIST OF REMOVING SEDIMENT AND CLEANING THE MATERIALS OR PLACING ADDITIONAL MATERIAL (SLASH MULCH OR CRUSHED ROCK) OVER SEDIMENT FILLED MATERIAL TO RESTORE EFFECTIVENESS.



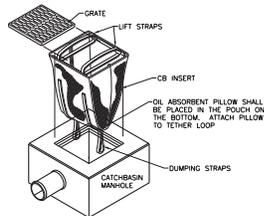
PLAN VIEW



SECTION VIEW

4 CONCRETE WASHOUT AREA

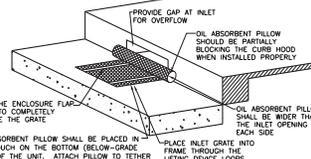
NO SCALE



1. OIL ABSORBENT PILLOW SHALL BE REMOVED AND REPLACED WHEN NEAR SATURATION.
2. USE SANDYDAM BAG #1 AS MANUFACTURED BY DANDY PRODUCTS, INC.
3. AN EQUIVALENT CATCH-BASIN EROSION CONTROL INSERT METHOD OR PRODUCT MAY BE USED WITH PRIOR APPROVAL FROM ENGINEER.
4. SILT FENCE OR FABRIC PLACED UNDER THE GRATE IS NOT AN APPROVED FORM OF INLET PROTECTION.

5 CB INSERT EROSION CONTROL

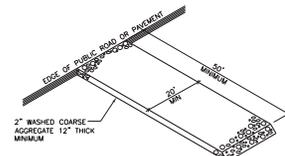
NO SCALE



1. OIL ABSORBENT PILLOW SHALL BE REMOVED AND REPLACED WHEN NEAR SATURATION.
2. PROVIDE BEAVER DAM AS MANUFACTURED BY DANDY PRODUCTS, INC.
3. AN EQUIVALENT CURB INLET EROSION CONTROL METHOD OR PRODUCT MAY BE USED WITH APPROVAL FROM ENGINEER.

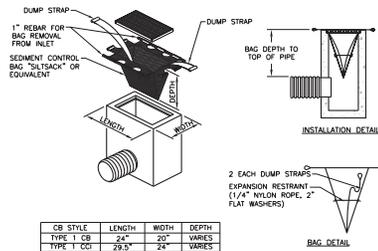
6 CATCHBASIN CURB BOX INLET EROSION CONTROL

NO SCALE



7 GRAVEL CONSTRUCTION ENTRANCE

NO SCALE



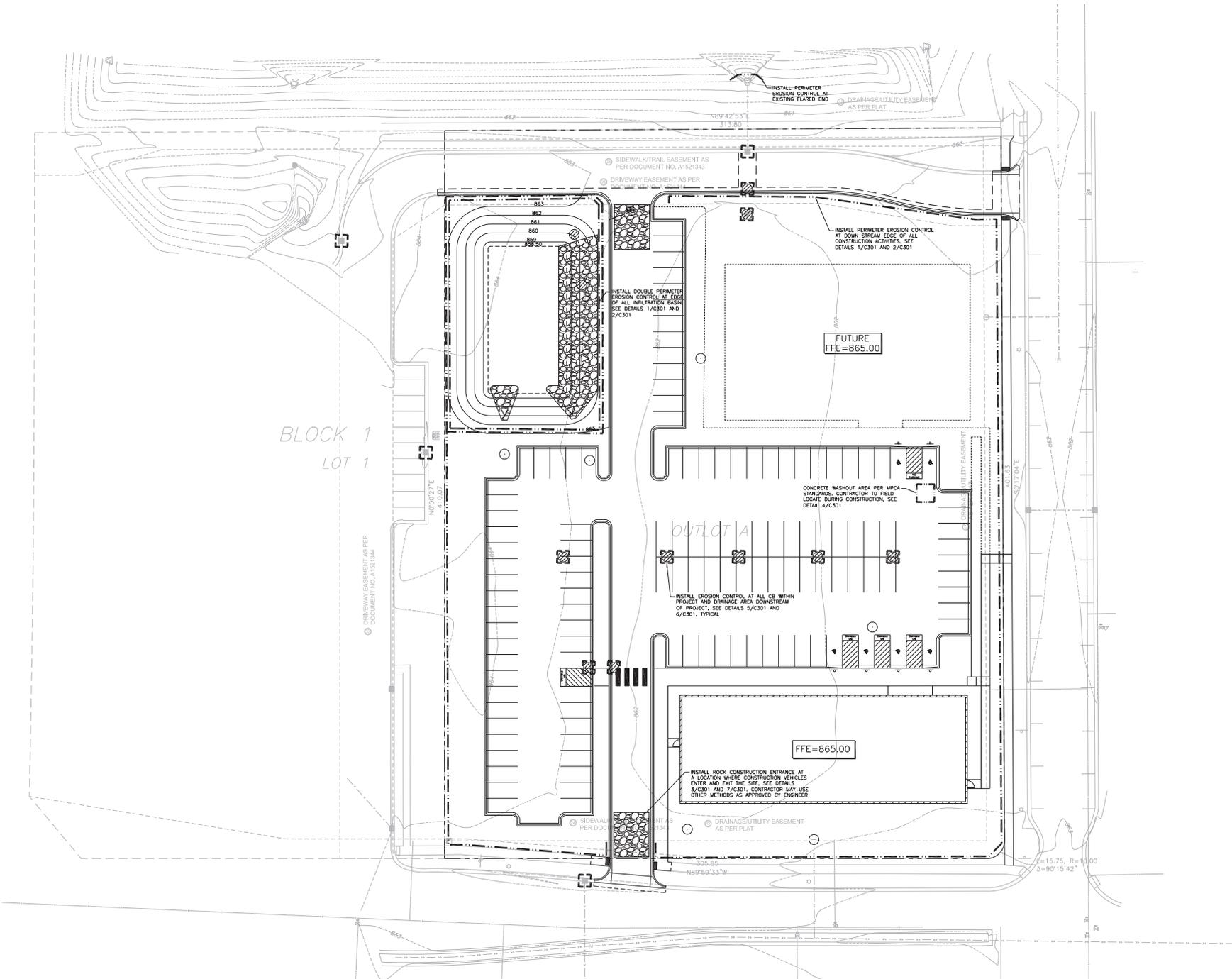
NOTES:

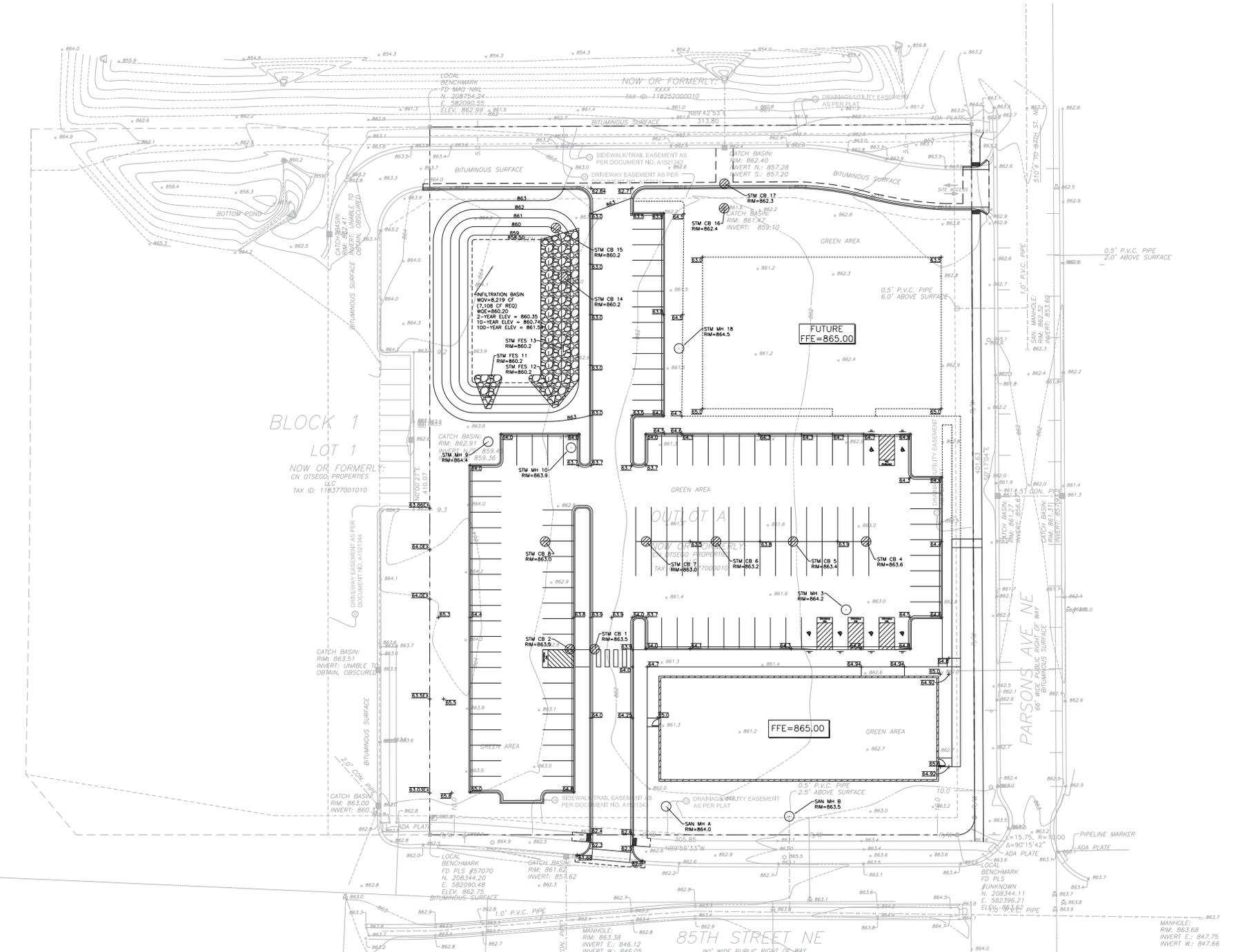
1. THE DIMENSION CHART ABOVE IS FOR STANDARD CATCH BASINS AND INLETS ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE CORRECT SIZE DEVICE FOR EACH INLET.
2. FOR NON-STANDARD CATCH BASINS AND INLETS, THE CONTRACTOR SHALL MEASURE DIMENSIONS IN THE FIELD AND ORDER THE APPROPRIATE SIZE(S).
3. THE INLET SEDIMENT CONTROL DEVICE SHALL BE OF HIGH FLOW DESIGN (100 GAL/MIN/FT), AS PER THE MANUFACTURER'S SPEC'S.
4. THE SEDIMENT CONTROL DEVICE SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED A MINIMUM ONCE PER MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT. FILTER SHALL BE CLEANED IN A MANNER WHICH ENSURES THAT ALL SEDIMENT REMAINS ON SITE.
5. SUBSTITUTION OF A SHEET OF FILTER FABRIC PLACED OVER THE OPENING OF THE INLET IS NOT APPROVED.
6. RECESSED CURB INLET CATCH BASINS MUST BE BLOCKED WHEN USING FILTER FABRIC INLET SACKS. SIZE OF FILTER INLET SACK TO BE DETERMINED BY MANUFACTURER.
7. THE FILTER SHALL BE REPLACED OR CLEANED WHEN THE BAG BECOMES HALF FULL.

8 SILT SACK

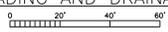
NO SCALE

| CB STYLE | LENGTH | WIDTH | DEPTH |
|------------|--------|-------|-----------|
| TYPE 1 CB | 24" | 20" | VARIABLES |
| TYPE 1 DCI | 29.5" | 24" | VARIABLES |
| LOG 12 | 32.5" | 27.5" | VARIABLES |





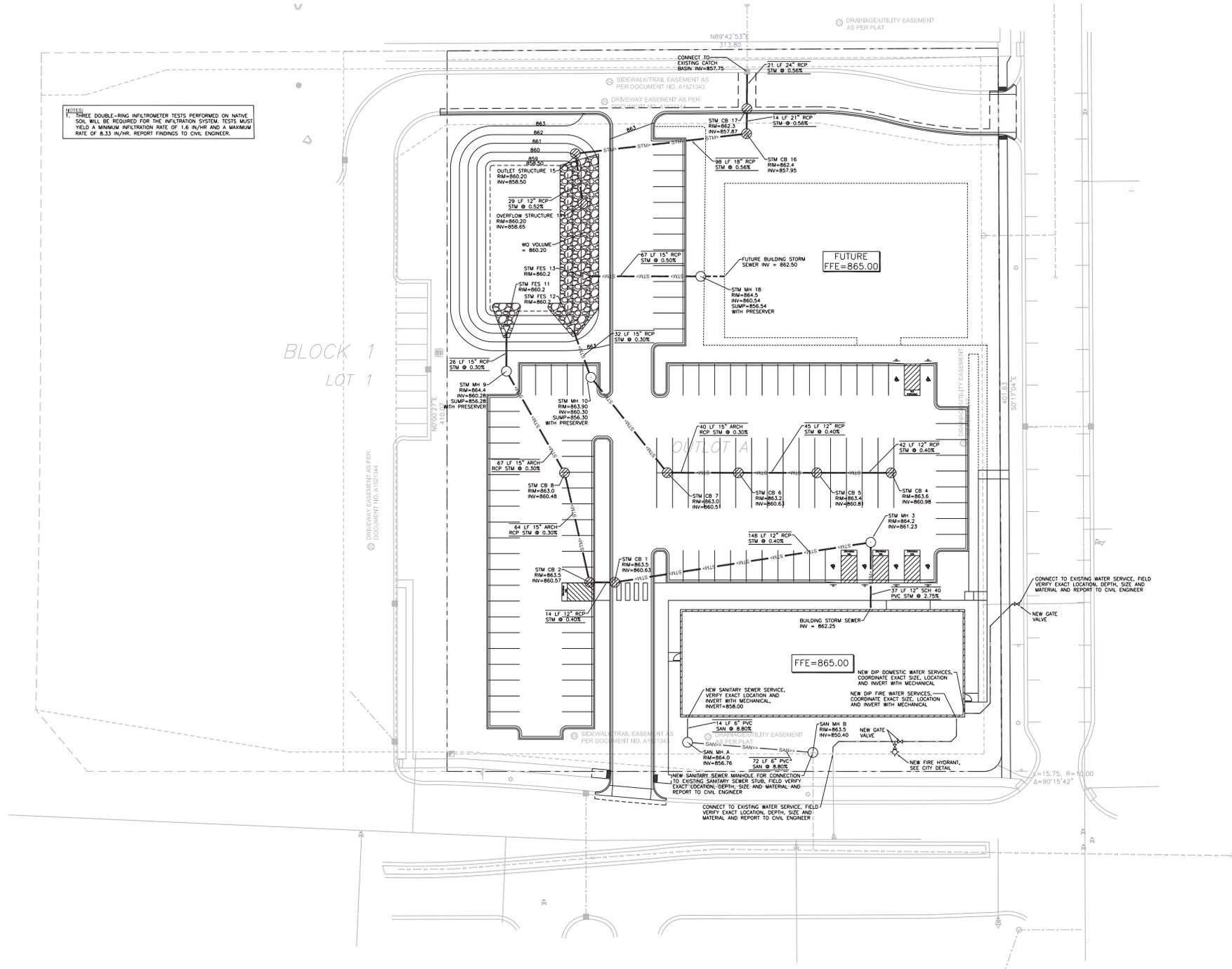
1 GRADING AND DRAINAGE PLAN
C400

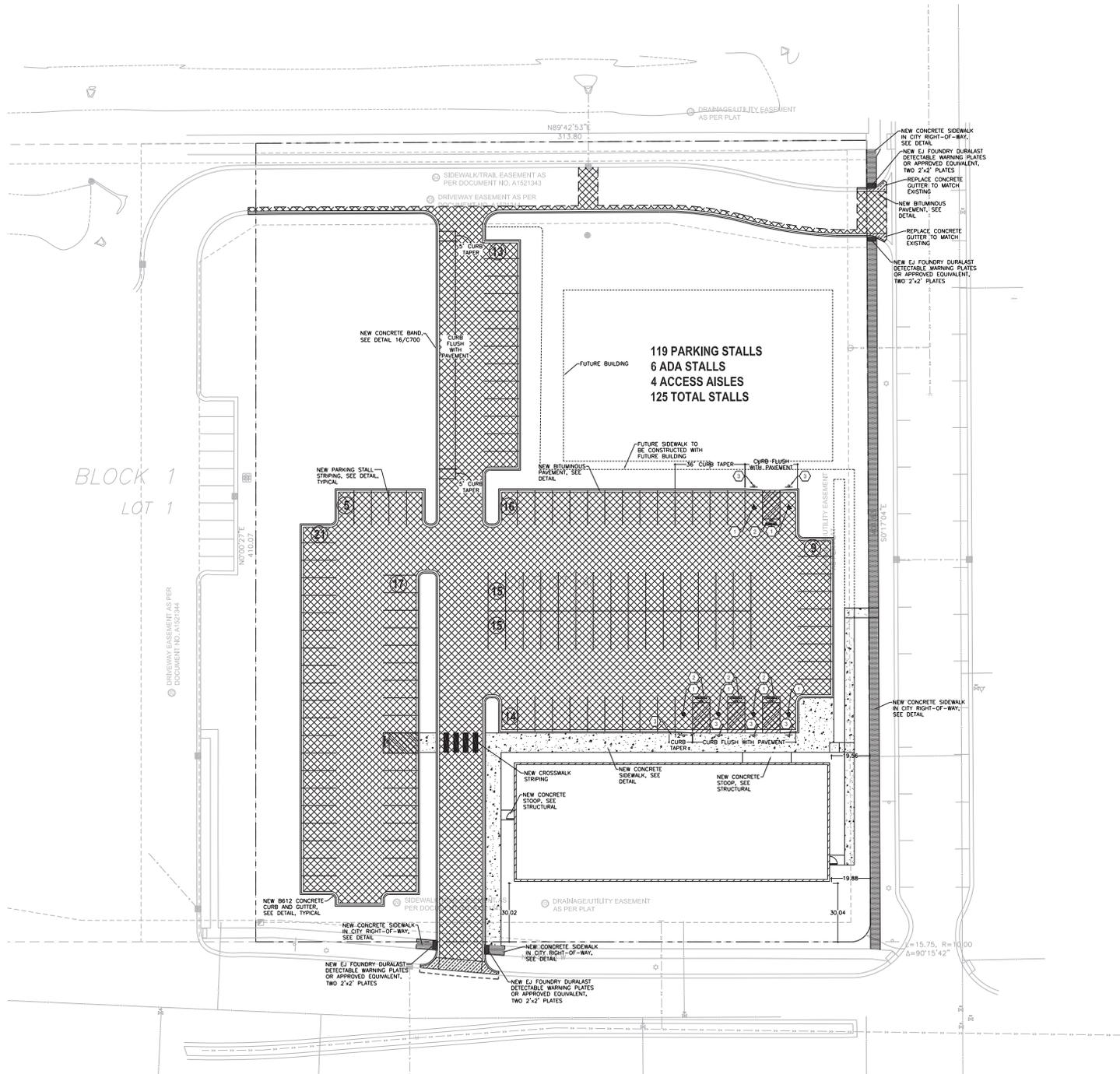


1"=20'

NOTES:
1. THREE DOUBLE-RING INFILTRATOR TESTS PERFORMED ON NATIVE SOIL WILL BE REQUIRED FOR THE INFILTRATION SYSTEM. TESTS MUST YIELD A MINIMUM INFILTRATION RATE OF 1.6 IN/HR AND A MAXIMUM RATE OF 8.33 IN/HR. REPORT FINDINGS TO CIVIL ENGINEER.

BLOCK 1
LOT 1



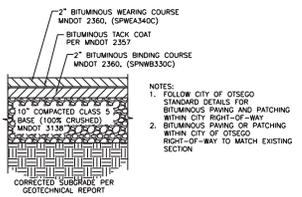


KEYNOTES

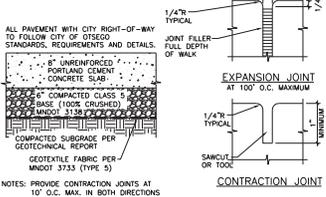
- 1 ADA PARKING SYMBOL, SEE DETAIL
- 2 ADA ACCESS AISLE, SEE DETAIL
- 3 ADA PARKING STALL SIGN, SEE DETAIL

HATCH LEGEND

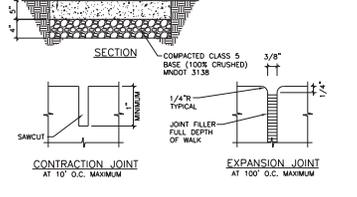
- NEW BITUMINOUS PAVEMENT, SEE DETAIL 1/C900
- NEW CONCRETE SIDEWALK, SEE DETAIL 3/C900
- NEW CITY CONCRETE SIDEWALK, SEE DETAIL 3/C900
- NEW 8" CROSS GUTTER, SEE CITY STANDARD PLATE NO. 702



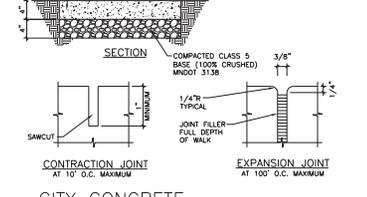
1 BITUMINOUS PAVEMENT DETAIL NO SCALE C700



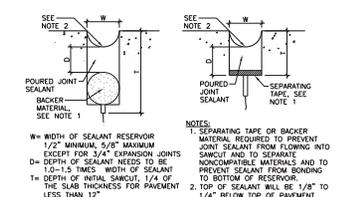
2 CONCRETE PAVEMENT DETAIL NO SCALE C700



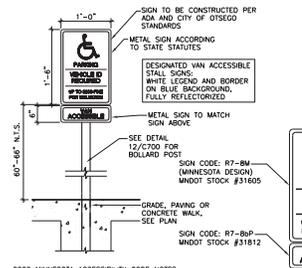
3 CONCRETE WALK & JOINT DETAILS NO SCALE C700



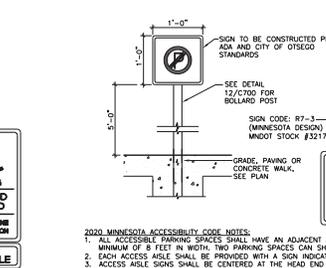
4 CITY CONCRETE WALK & JOINT DETAILS NO SCALE C700



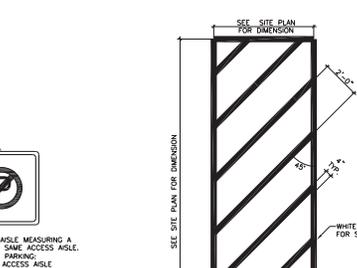
5 JOINT SEALANT DETAILS NO SCALE C700



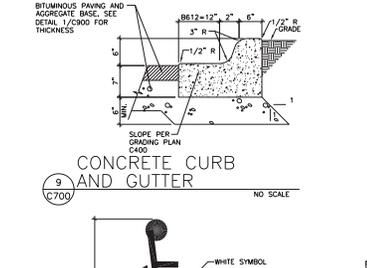
6 ACCESSIBLE PARKING STALL SIGN NO SCALE C700



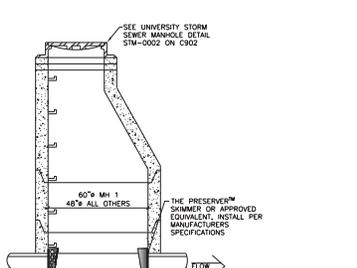
7 ADA ACCESS AISLE SIGN NO SCALE C700



8 NO PARKING STRIPING NO SCALE C700



9 CONCRETE CURB AND GUTTER NO SCALE C700



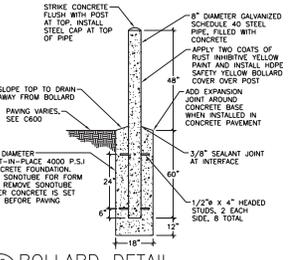
10 ADA PARKING SYMBOL NO SCALE C700

2020 MINNESOTA ACCESSIBILITY CODE NOTES:
 1. EACH ACCESSIBLE PARKING SPACE SHALL HAVE A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND NOTIFICATION THAT VIOLATORS ARE SUBJECT TO A FINE OF \$200.
 2. EACH SIGN SHALL BE CENTERED AT THE HEAD END OF THE SPACE AND MOUNTED BETWEEN 40 INCHES ABOVE THE PARKING SURFACE MEASURED TO THE BOTTOM OF THE SIGN.
 3. ALL ACCESSIBLE PARKING SPACES SHALL HAVE AN ADJACENT ACCESS AISLE MEASURING A MINIMUM OF 8 FEET IN WIDTH. TWO PARKING SPACES CAN SHARE THE SAME ACCESS AISLE.
 4. THE SLOPE OF EACH ACCESSIBLE PARKING SPACE AND ACCESS AISLE SHALL NOT EXCEED 1:48.
 5. THE SLOPE OF EACH ACCESSIBLE PARKING SPACE AND ACCESS AISLE SHALL NOT EXCEED 1:48.

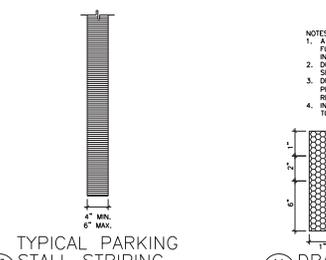
2020 MINNESOTA ACCESSIBILITY CODE NOTES:
 1. ALL ACCESSIBLE PARKING SPACES SHALL HAVE AN ADJACENT ACCESS AISLE MEASURING A MINIMUM OF 8 FEET IN WIDTH. TWO PARKING SPACES CAN SHARE THE SAME ACCESS AISLE.
 2. EACH ACCESS AISLE SHALL BE PROVIDED WITH A SIGN INDICATING "NO PARKING."
 3. ACCESS AISLE SIGNS SHALL BE CENTERED AT THE HEAD END OF THE ACCESS AISLE MEASURED TO THE BOTTOM OF THE SIGN.
 4. WHERE THE ACCESS AISLE SIGN WOULD OBSTRUCT A CURB RAMP OR PEDESTRIAN ROUTE, THE NO PARKING DISCOMMODATION SHALL BE PROVIDED ON THE SURFACE OF THE ACCESS AISLE.
 5. THE SLOPE OF EACH ACCESSIBLE PARKING SPACE AND ACCESS AISLE SHALL NOT EXCEED 1:48.
 6. EACH ACCESS AISLE SHALL CONNECT TO AN APPROVED ROUTE.
 7. AN EXTERIOR ACCESSIBLE ROUTE CONNECTING ACCESSIBLE PARKING WITH A BUILDING ENTRANCE SHALL BE AT LEAST 4 FEET WIDE WITH A SLOPE NOT TO EXCEED 1:20.
 8. ALL EXTERIOR ACCESSIBLE ROUTES CONNECTING ACCESSIBLE BUILDING ENTRANCES SHALL BE AT LEAST 4 FEET WIDE WITH A SLOPE NOT TO EXCEED 1:20.
 9. THE SURFACE OF THE EXTERIOR ACCESSIBLE ROUTE SHALL BE STABLE, FIRM AND SLIP-RESISTANT.



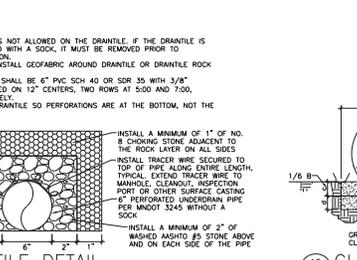
11 MANHOLE WITH PRESERVER NO SCALE C700



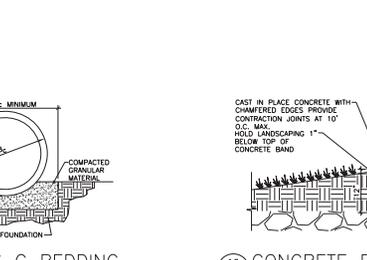
12 BOLLARD DETAIL NO SCALE C700



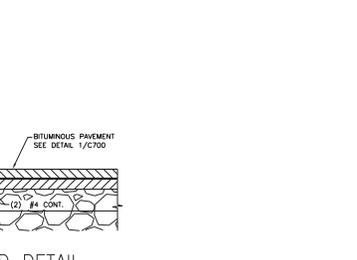
13 TYPICAL PARKING STALL STRIPING NO SCALE C700



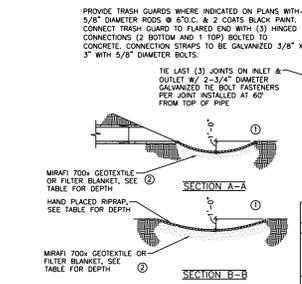
14 DRAINTILE DETAIL NO SCALE C700



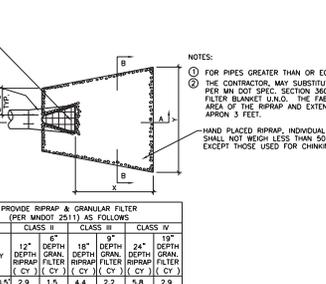
15 CLASS C BEDDING NO SCALE C700



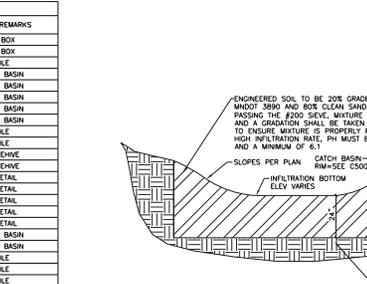
16 CONCRETE BAND DETAIL NO SCALE C700



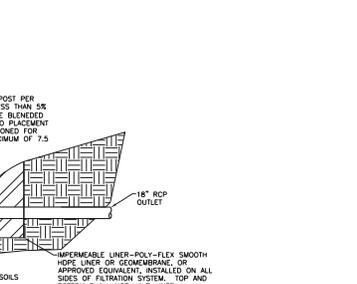
17 RIPRAP AT RCP OUTLET NO SCALE C700



18 STRUCTURE SCHEDULE NO SCALE C700

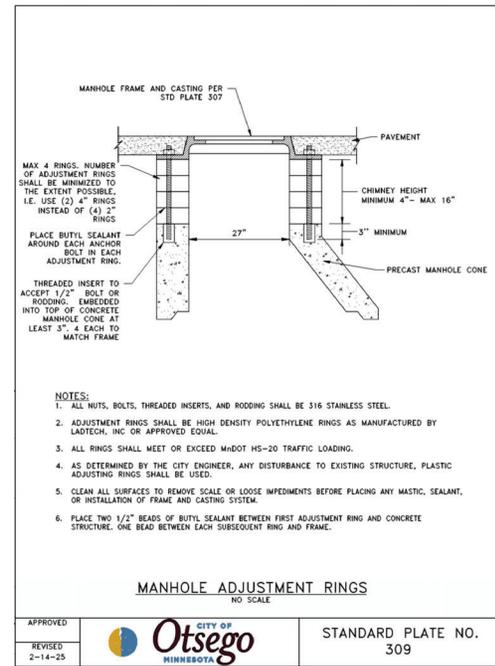
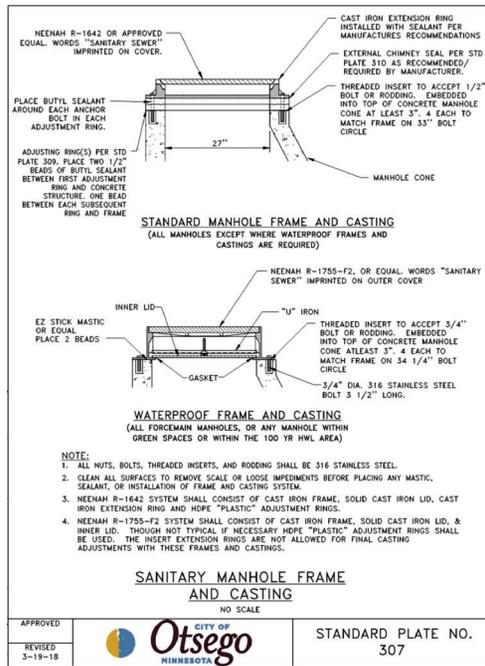
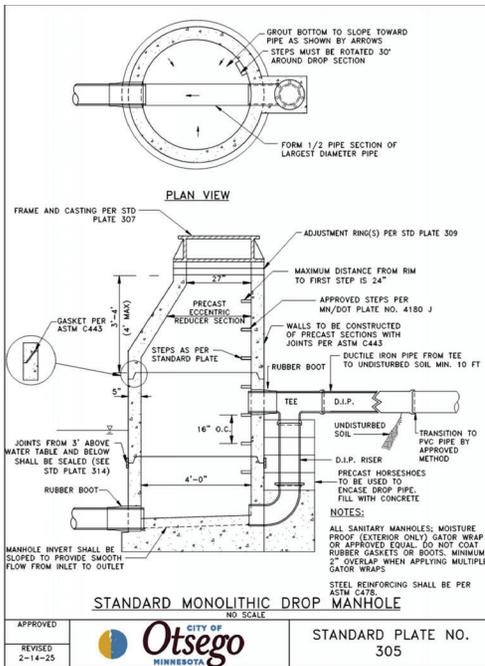
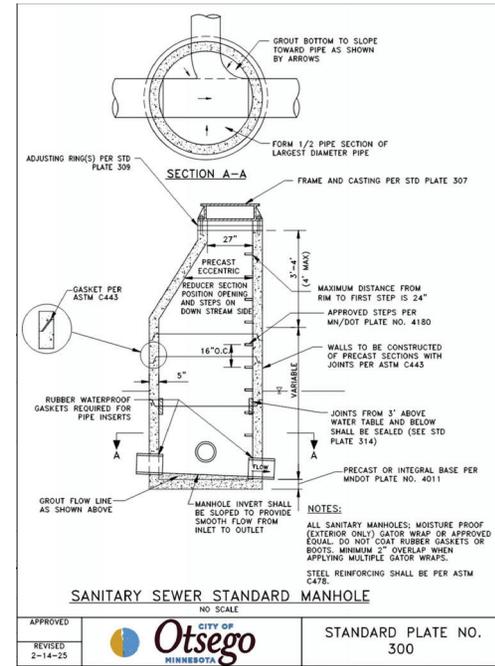
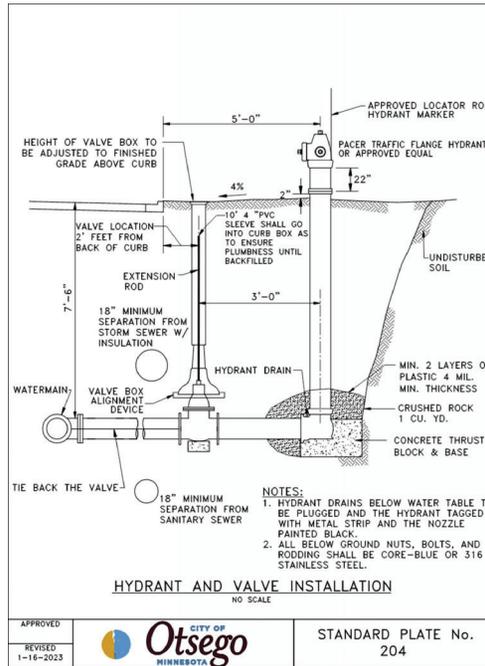
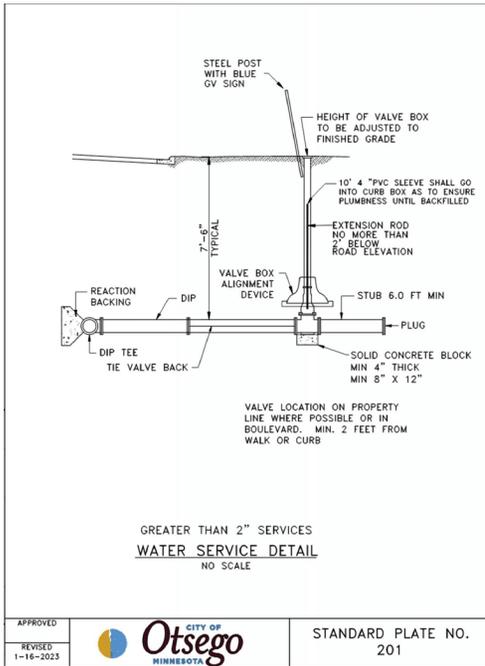


19 INFILTRATION BASIN DETAIL NO SCALE C700



20 CITY SUBMITTAL NO SCALE C700

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |



FOSS SWIM SCHOOL
85th Street NE
Osage, MN



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203 WABHINGTON AVE N. SUITE 300
MINNEAPOLIS, MN 55404
PH: 612.524.1810
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BLAINE, MN 55434
TEL: 763.537.1311

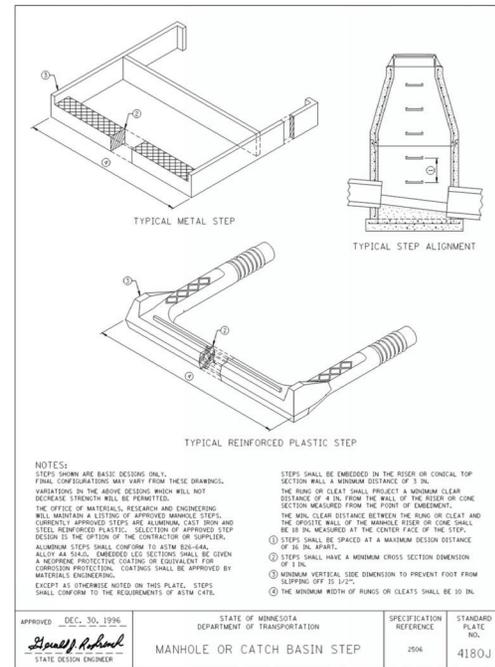
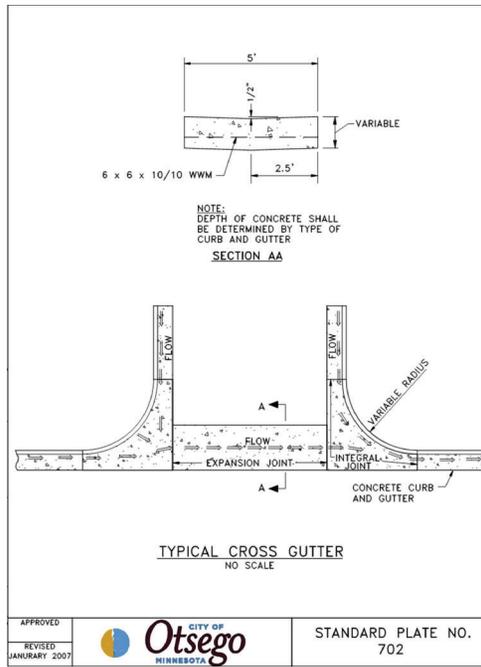
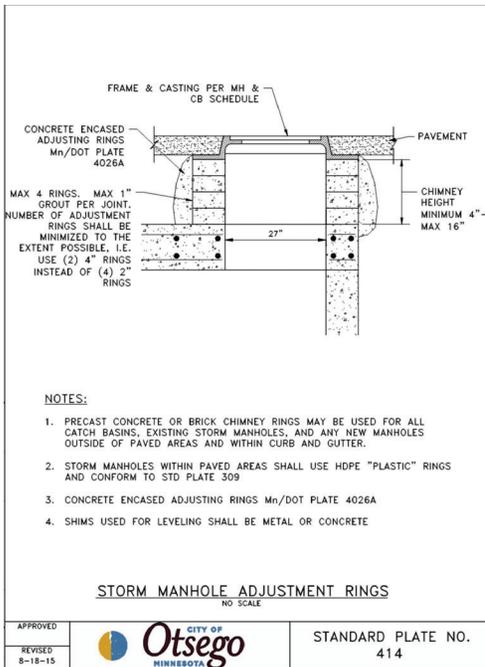
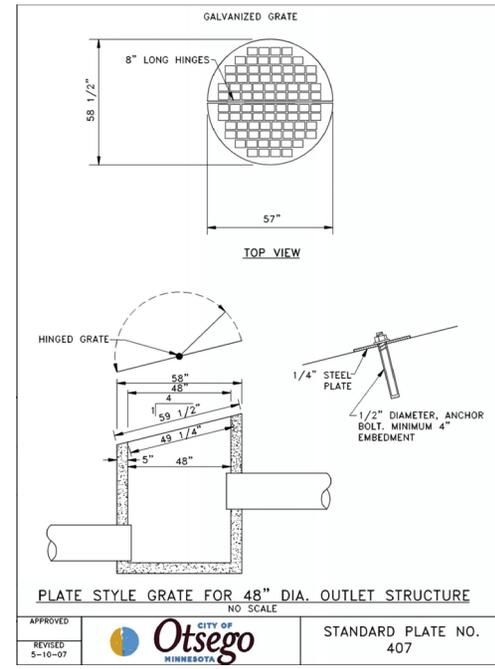
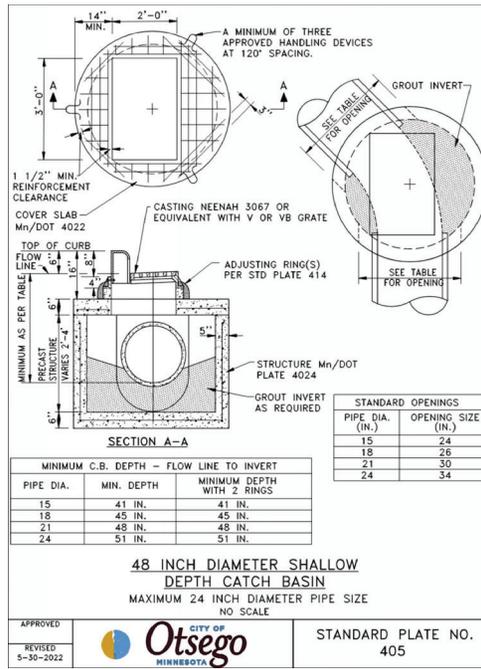
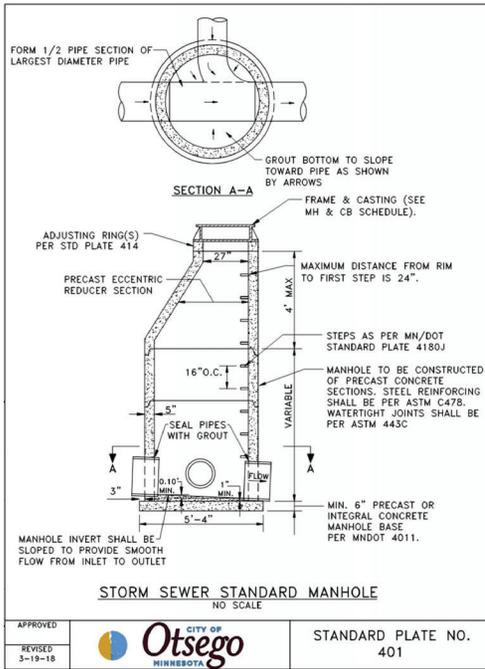
CITY SUBMITTAL
NO. DESCRIPTION DATE

Project Number: 2040
Date: 10 December, 2023
Drawn by: JBR
Checked by: RSP

CIVIL DETAILS

C701

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FOSS SWIM SCHOOL
85th Street NE
Osseo, MN



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CITY SUBMITTAL
NO. DESCRIPTION DATE

Project Number: 2504
Date: 10 December, 2025
Drawn by: JBR
Checked by: RSP

CIVIL DETAILS

C702
© Road & Bridge Architecture, LLC



ENGINEERING REVIEW
Commercial Subdivision
Site Plan
for the City of Otsego
by
Hakanson Anderson

Submitted to: Honorable Mayor and City Council

cc: Adam Flaherty, City Administrator/Finance Director
Audra Etzel, City Clerk
Dan Licht, City Planner
Dave Kendall, City Attorney

Reviewed by: Ronald J. Wagner, P.E.

Date: 12/22/2025

Proposed Development: FOSS Swim School

Development Location: PID # 118377000010. A portion of Section 22, T121, R23, Q1-4. The site is bounded by GoodDay Express Car Wash to the west, a city storm pond to the north, Parson Avenue NE to the east and 85th Street NE to the south.

Applicant: Duane Boris

Developer: FOSS Swim School
10050 Crosstown Circle Suite 650
Eden Prairie, MN 55344

Owners of Record: Nate Pierson
CN Otsego Properties LLC
682 55th ST NE
Buffalo, MN 55313

Purpose: This is a proposed development including commercial space on approximately 2.97± acres in the City of Otsego, Wright County, Minnesota. The proposed development will be served with municipal water, sanitary sewer, storm sewer, and public streets typical of an urban setting.

Jurisdictional Agencies: City of Otsego, Minnesota Department of Natural Resources, Minnesota Pollution Control Agency, Wright Soil and Water Conservation District.
(but not limited to)

Permits Required: NPDES, Minnesota Department of Health (water), and Minnesota Pollution Control Agency (sanitary sewer).
(but not limited to)

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EROSION AND SEDIMENT CONTROL DETAILS

SITE DIMENSION PLAN

SITE DETAILS

GRADING AND DRAINAGE PLAN

STORM SEWER PLAN

GRADING DETAILS

UTILITY PLAN

UTILITY DETAILS

OTHER CONSIDERATIONS

SUMMARY AND/OR RECOMMENDATIONS

INFORMATION AVAILABLE

Preliminary Site Development Plans for FOSS SWIM SCHOOL,
FOSS Swim School Storm Water Plan

Additional Information

Minnesota Rules, Chapter 4410 – EAW Requirement

City of Otsego Engineering Manual

City of Otsego Zoning and Subdivision Ordinances

National Wetland Inventory Map

Great River Centre Storm Water Plan

SITE DEVELOPMENT PLANS

COVER SHEET

1. City of Otsego public utilities contact shall be Kurt Neidermeier.

EXISTING CONDITIONS SURVEY

2. Show location, names, width of existing streets, building, etc. within 150' of the project boundary.
3. Show size and elevation for all existing utilities within 150' of the project boundary.
4. Adjoining unsubdivided or subdivided land shall be identified by name and ownership within 150' of the project boundary.
5. Locations and results of soil borings, percolation tests, etc.

GENERAL NOTES

6. No comments.

SITE DEMOLITION & EROSION CONTROL

7. No comments.

EROSION AND SEDIMENT CONTROL DETAILS

8. No comments.

SITE DIMENSION PLAN

9. No comments.

SITE DETAILS

10. No comments.

GRADING AND DRAINAGE PLAN

11. Concrete Band (Ribbon Curb) is not allowed. Replace with surmountable standard plate #704, #705 or B6 curb standard Plate #7100H.
12. A catch basin will need to be added and regrade curb for water to flow to the CB west of future building site.

STORM SEWER PLAN

13. What is the reason for STM MH 3 not connecting to STM CB 4?
14. Can the overflow structure (STM CB 14) and Outlet Structure 15 (OCS) be combined?
15. The use of RIP RAP is not used around FES. See city detail Standard Plate #500 & 500a.

GRADING DETAILS

16. No comments.

UTILITY PLAN

17. Plans will be reviewed by city utility manager to ensure proper infrastructure and floatable, oil, and grease capture tank and standard operation procedure are in place.
18. Indicate 6" SDR 26 for sanitary connection.
19. Indicate removal of old 6" valve and addition of new 6" valve for domestic water service connection on Parson Ave.
20. Indicate 6" CL 52 DIP WM to be used for connection to existing water stub for fire service.
21. Connect to existing stub for fire service with new 6" valve for testing purposes.

UTILITY DETAILS

22. Use City of Otsego Standard Plate Details as noted on detail sheet.

OTHER CONSIDERATIONS

23. Provide a traffic control plan for shoulder closure as it relates to 85th Street ingress/egress and existing private street to the north.
24. Provide storm water profiles.
25. Provide Geotechnical Report.

SUMMARY AND/OR RECOMMENDATION

Resubmit for review and approval.

**CITY OF OTSEGO
COUNTY OF WRIGHT
STATE OF MINNESOTA**

RESOLUTION NO: 2026-08

**APPROVING A PRELIMINARY PLAT FOR
GREAT RIVER CENTRE OF OTSEGO EIGHTH ADDITION**

WHEREAS, Foss Swim School has submitted application for preliminary plat approval of one lot to be known as Great River Centre of Otsego Eighth Addition; and

WHEREAS, the legal description of the subject property is attached as Exhibit A; and

WHEREAS, the property is within the East Sewer District and guided for future commercial land uses by the 2023 Comprehensive Plan; and

WHEREAS, the subject property is zoned PUD, Planned Unit Development District in accordance with the ordinance adopted as Ordinance 2006-05 and amended by Ordinance 2023-04; and

WHEREAS, applications for preliminary plat approval are processed in accordance with the provisions of Section 10-3-2 of the Subdivision Ordinance; and

WHEREAS, the Planning Report dated 14 January 2026 prepared by the City Planner, The Planning Company LLC, is incorporated herein; and

WHEREAS, the Planning Commission conducted a public hearing at their regular meeting on 20 January 2026 to consider the application, preceded by published and mailed notice; based upon review of the application and evidence received, the public hearing was closed and the Planning Commission recommended by a 6-0 vote that the City Council approve the request based on the aforementioned findings.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF OTSEGO, MINNESOTA THAT: the preliminary plat of Great River Centre of Otsego Eighth Addition is approved subject to the following conditions:

1. Approval of the preliminary plat shall not guarantee access to sanitary sewer service. The City shall only allocate sanitary sewer capacity to approved final plats with signed development contracts to assure the City of timely development.
2. Right-of-way dedication and access to 85th Street and Parson Avenue shall be subject to review and approval of the City Engineer.
3. Lot 1, Block 1 shall comply with the following setback requirements:

| | | | | |
|----------------------|-------------|-------|---------|----------|
| 85 th St. | Parson Ave. | North | Parking | |
| | | | ROW | Interior |
| 30ft. | 20ft. | 10ft. | 15ft. | 5ft. |

4. All utility issues shall be subject to review and approval of the City Engineer.

5. The developer shall pay Utility Availability Charges for the proposed lot at the time of final plat approval in accordance with Title 8, Chapter 1 of the City Code.
6. The developer shall pay Utility Connection Fees for construction of proposed principal uses at the time a building permit is issued, in accordance with Title 8, Chapter 1 of the City Code.
7. All grading, drainage, erosion control and stormwater management issues shall be subject to review and approval of the City Engineer.
8. All easements shall be subject to review and approval of the City Engineer.
9. Development of Lot 1, Block 1 shall require application for site and building plan review, or other zoning applications as may be required by Zoning Ordinance, as provided for by Section 11-9-3 of the Zoning Ordinance.
 - a. Access and Off-Street Parking:
 - (1) The design and construction of off-street parking areas shall comply with Section 11-21-7 of the Zoning Ordinance, subject to review and approval of the City Engineer.
 - (2) The off-street parking area shall provide for the number of spaces as required by Section 11-21-8 of the Zoning Ordinance.
 - b. The architectural design and exterior materials for any principal and accessory building(s) shall comply with the GRC PUD District Design Guidelines Booklet and Section 11-17-4.D.1 of the Zoning Ordinance.
 - c. The height of any principal and accessory building(s) shall not exceed 28 feet as defined by the Zoning Ordinance.
 - d. A landscape plan subject to review and approval of the Zoning Administrator shall be submitted outlining proposed location, type, size, and quantities of proposed plantings along with planting details meeting the requirements of Section 11-19-2 of the Zoning Ordinance, and:
 - (1) Natural grasses or shrubs planted to screen the view of off-street parking area from view of 85th Street and Parson Avenue.
 - (2) An irrigation system shall be installed as required by Section 5-2-3.C.2 of the City Code.
 - e. All exterior lighting shall comply with Section 11-16-6 of the Zoning Ordinance, subject to review and approval of the Zoning Administrator.
 - f. All signs shall comply with the GRC PUD District Design Guidelines booklet and Chapter 37 of the Zoning Ordinance, subject to review and approval of the Zoning Administrator.
 - g. Any outdoor storage of waste containers shall require an enclosure that complies with the provisions of Section 11-18-4.C of the Zoning Ordinance, subject to review and approval of the Zoning Administrator.
10. The developer shall enter into a development contract as required by Section 10-10-4.A of the Subdivision Ordinance at the time of final plat approval and Section 11-9-7 of the Zoning Ordinance related to site and building plan review approval, subject to review by the City Attorney and approval of the City Council.

11. A final plat shall be approved within one year of City Council approval or the preliminary plat shall be deemed void.

ADOPTED by the Otsego City Council this 26th day of January, 2026.

MOTION BY:
SECONDED BY:
IN FAVOR:
OPPOSED:

CITY OF OTSEGO

Jessica L. Stockamp, Mayor

ATTEST:

Audra Etzel, City Clerk

EXHIBIT A
LEGAL DESCRIPTION

Outlot A, Great River Centre of Otsego Seventh Addition, Wright County, Minnesota.